

**GENERAL NOTE**

1. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION
2. SEE CIVIL SHEETS FOR FINISH FLOOR AND SIDEWALK GRADES
3. SEE CIVIL SHEETS FOR UTILITY EASEMENTS
4. SEE LANDSCAPE SHEETS FOR LANDSCAPE/PLANT TYPES AND LOCATIONS
5. GENERAL CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL PER CIVIL.
6. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START WORK.
7. PATCH AND REPAIR ALL MODIFIED GRADES AND FINISH GRADES READY FOR NEW CONSTRUCTIONS.
8. CONTRACTOR TO PROVIDE ALL REQUIRED PROTECTION DURING CONSTRUCTION
9. CONTRACTOR SHALL CAP AND PROTECT DEMO UTILITY COMPONENTS.

**SITE DATA**

SITE LOCATION: 10870 SW BARNES RD  
 ADDRESS: 10902-10910 SW BARNES RD  
 PROJECT ADDRESS: 10902-10910 SW BARNES RD  
 TAX ASSESSORS NO: R2045357  
 TAX MAP AND LOT: 1S103A001600

SITE AREA: 16.4 ACRES (712,359 SF)  
 PROJECT AREA OF WORK: 81,230 SF (APPROX)

BUILDING AREA:	EXISTING	PROPOSED
ANCHOR 'A'	46,933 SF	
SHOPS 'B'	12,600 SF	
ANCHOR 'C'	50,000 SF	
SHOPS 'D'	15,400 SF	
RITE AID ANCHOR 'E'	20,100 SF	
SHOPS 'F'	8,080 SF	
OUTBACK RESTAURANT PAD 'G'	6,570 SF	
WELLS FARGO BANK PAD 'H'	4,700 SF	
SHOPS PAD 'I'	3,400 SF	+1,120 SF
SHOPS PAD 'J'		+2,950 SF
TOTAL BUILDING AREA	167,783 SF	171,853 SF

\*ANCHOR 'A' AREA INCLUDES 14,580 OF EXTERIOR GARDEN AND COVERED DISPLAY AREA

**PARKING REQUIREMENTS: (PER 1,000 SF GROSS FLOOR AREA)**

OCC. GROUP	SF	RATIO	MIN RQ	MAX
SHOPPING CENTER				
EXISTING	167,783 SF	1:3.3	554	855
PROPOSED	171,911 SF	1:3.3	568	876

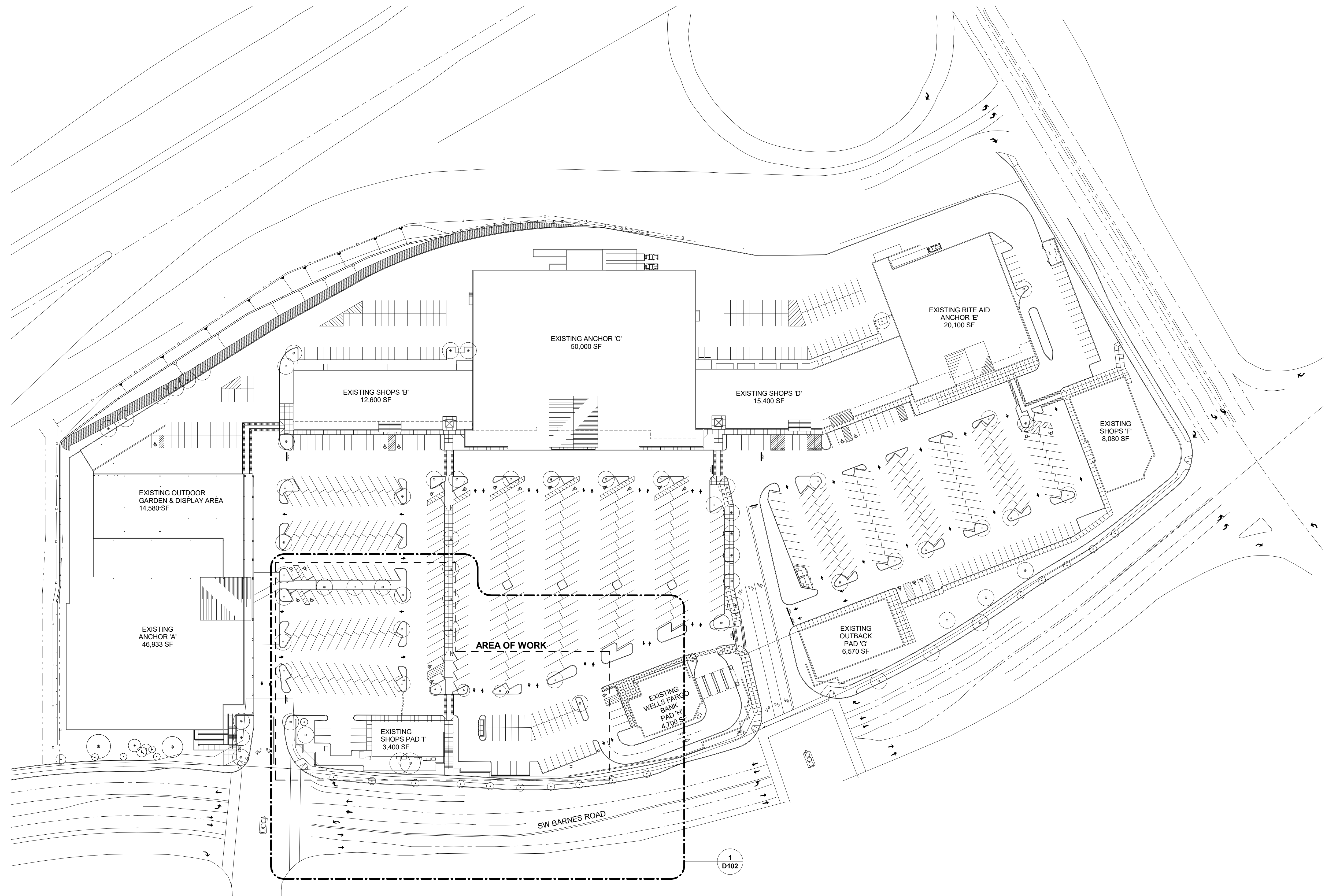
EXISTING SPACES: 754 SPACES  
 SPACES REMOVED OR DISTURBED: -148 SPACES  
 INCLUDES -6 ACCESSIBLE SPACES  
 SPACES ADDED: +79 SPACES  
 INCLUDES +7 ACCESSIBLE SPACES  
 TOTAL SPACES PROVIDED: 685 SPACES

ADA SPACES REQUIRED: 13 SPACES (2 VAN)  
 ADA SPACES PROVIDED: 29 SPACES (2 VAN)

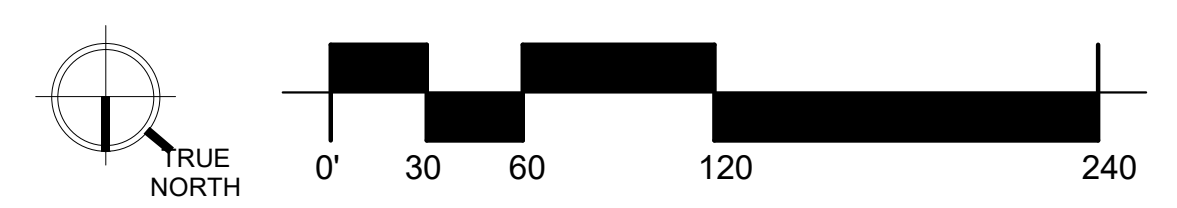
**BICYCLE REQUIREMENTS AT PADS 'I' & 'J':**

	LONG TERM	SHORT TERM
MINIMUM REQUIRED:	2 SPACES	2 SPACES
SPACES PROVIDED:	2 SPACES	2 SPACES

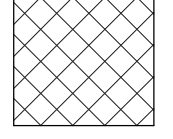
LANDSCAPE REQUIREMENTS: SEE LANDSCAPE DRAWINGS




**1**  
**D101**  
**EXISTING SITE PLAN**  
1" = 60'-0"



**SITE LEGEND**

 EXISTING PARKING SPACES TO BE REMOVED OR DISTURBED DURING CONSTRUCTION

 APPROX AREA OF WORK

**SITE KEYNOTE**

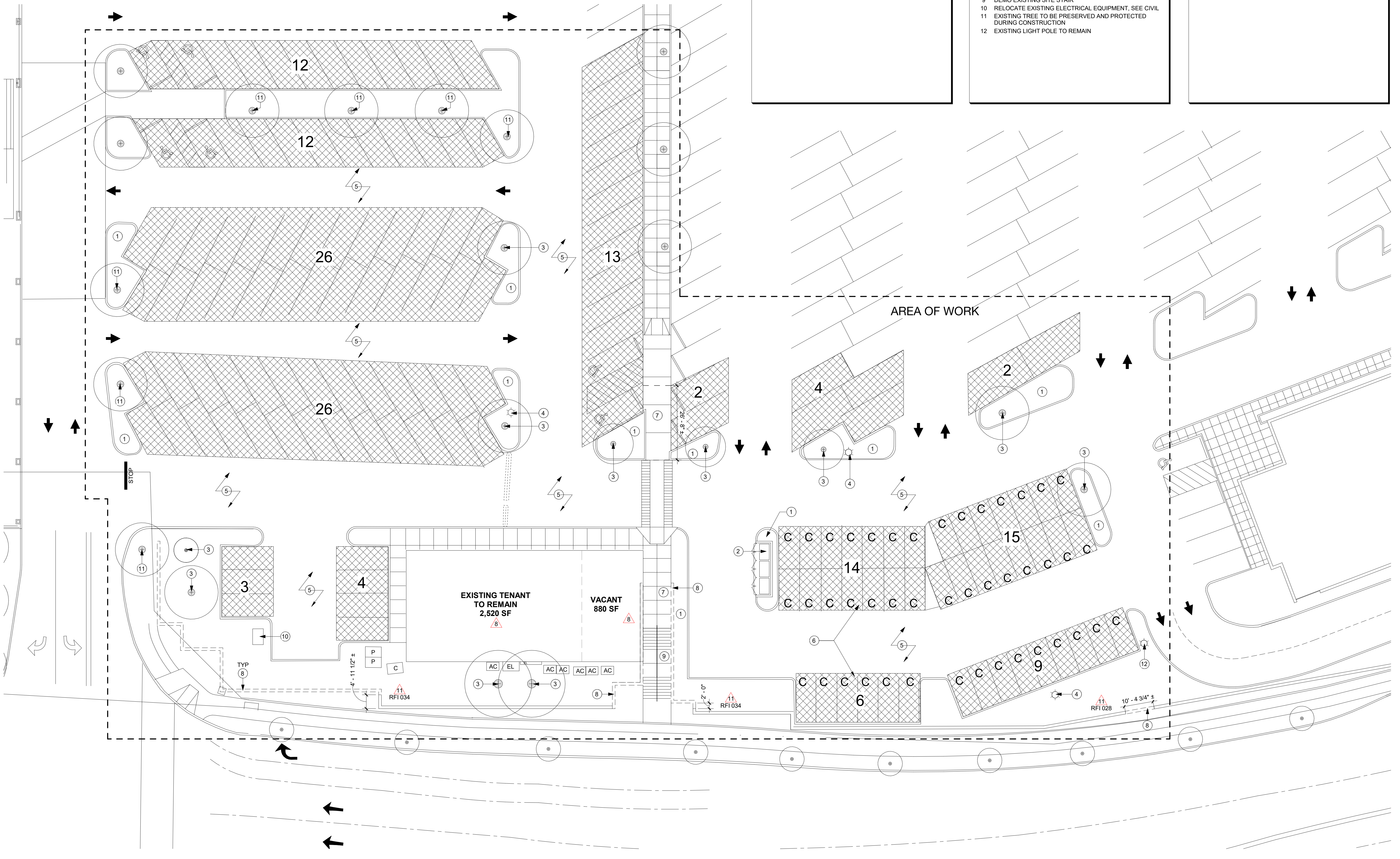
- 1 DEMO EXISTING PLANTERS
- 2 DEMO EXISTING TRASH ENCLOSURE
- 3 DEMO EXISTING TREE
- 4 RELOCATE EXISTING LIGHT POLE. SEE SITE PLAN FOR NEW LOCATION
- 5 SEE CIVIL FOR EXTENT OF DEMOLISHED EXISTING ASPHALT, PARKING, AND CURBS
- 6 DEMO INDICATED PARKING STALLS
- 7 DEMO EXISTING SIDEWALK
- 8 DEMO PORTION OF EXISTING RETAINING WALL, AND LANDSCAPE
- 9 DEMO EXISTING SITE STAIR
- 10 RELOCATE EXISTING ELECTRICAL EQUIPMENT. SEE CIVIL
- 11 EXISTING TREE TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION
- 12 EXISTING LIGHT POLE TO REMAIN

**DEMO SITE INFORMATION**

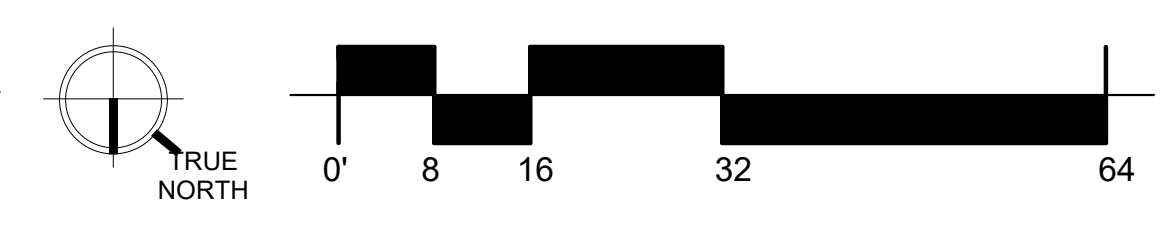
APPROX AREA OF WORK: 81,230 SF (1.86 ACRES)

PARKING SPACES TO BE REMOVED: 148 SPACES  
 ACCESSIBLE PARKING REMOVED: 6 SPACES

\*SEE CIVIL DOCUMENTS FOR EXTENT OF LANDSCAPE AND HARDSCAPE TO BE REMOVED OR ALTERED



**1**  
**D102**  
 ENLARGED EXISTING SITE PLAN  
 1/16" = 1'-0"



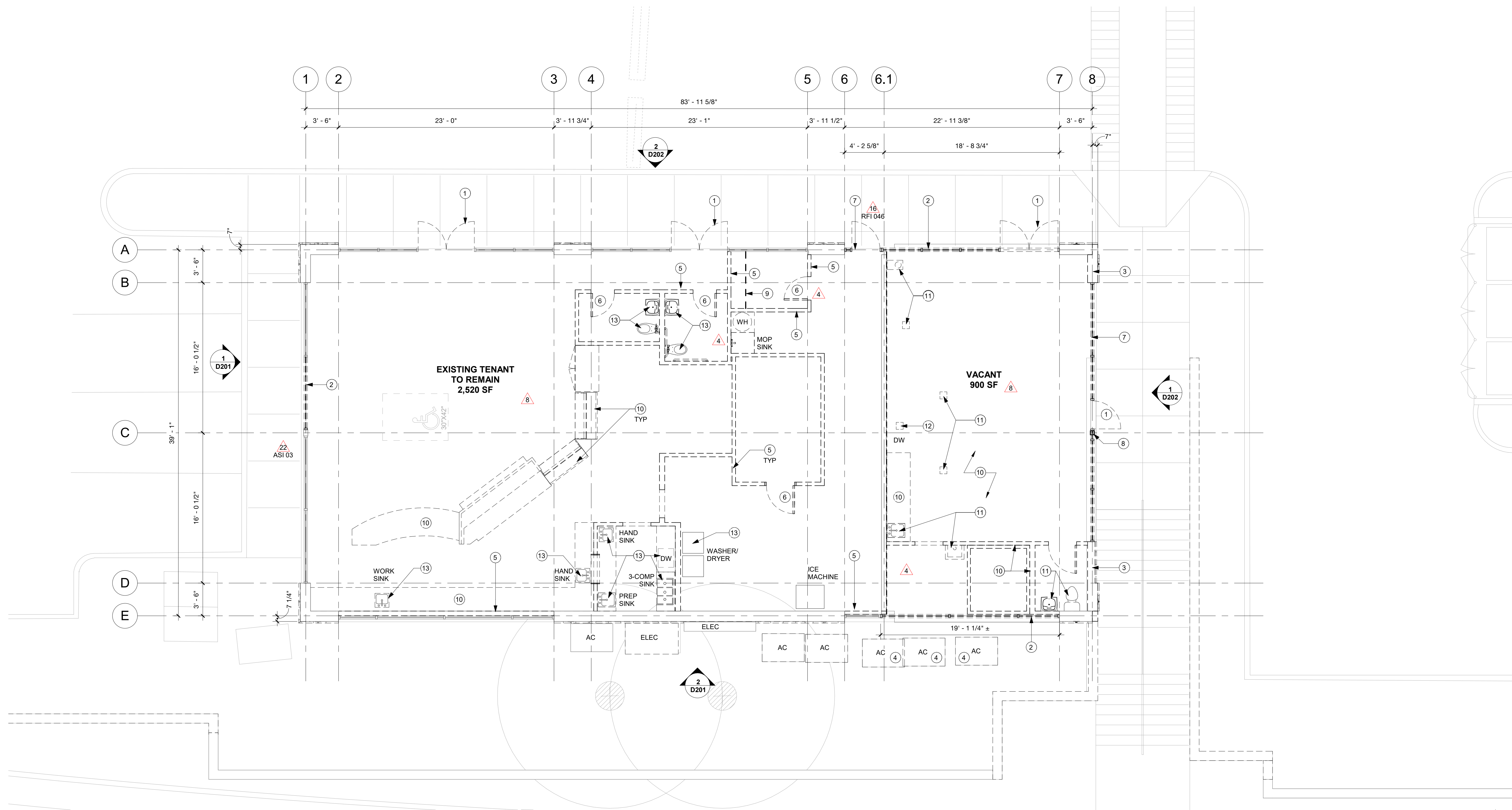
**GENERAL NOTES**

- EXTENT OF DEMOLITION SHOWN DASHED (---). REPAIR AND PATCH REMAINING SURFACES AS NEEDED.
- DIMENSIONS SHOWN ARE BASED ON THE DESIGN TEAM'S BEST KNOWLEDGE OF THE EXISTING CONDITIONS. FIELD VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- GC TO REVIEW EXISTING CONDITIONS AND COORDINATE W/ DEFERRED DESIGN BUILD TRADES, AND SUBCONTRACTORS AS NEEDED.
- COORDINATE W/ OWNER ON CONDITION OF EXISTING DOORS TO BE DEMOLISHED. REUSE DOORS WHENEVER POSSIBLE.
- CONTRACTOR TO COORDINATE W/ ARCHITECT PRIOR TO DEMOLISHING ANY COLUMNS. CONTRACTOR SHALL PHOTOGRAPH THE EXISTING CONDITION AND VERIFY REMOVAL OF COLUMN, TYP.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, OR GRIDLINES, UNLESS OTHERWISE INDICATED, TYP.

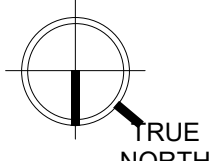
20  
RFI 067

**KEYNOTE**

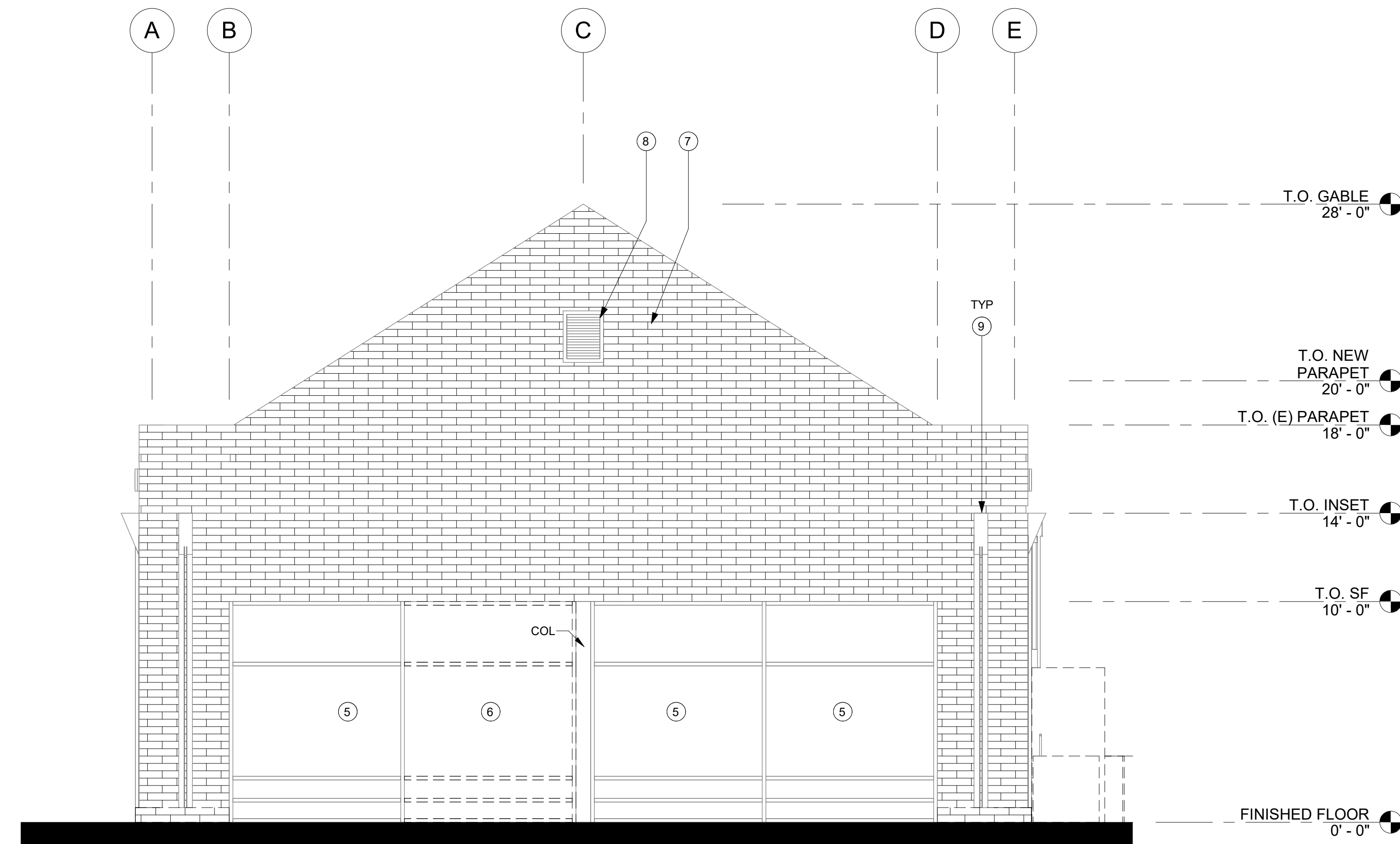
- DEMO EXISTING STOREFRONT DOOR
- DEMO EXISTING STOREFRONT SEGMENT
- DEMO EXISTING EXTERIOR WALL, SEE ELEVATIONS
- DEMO EXISTING EXTERIOR AC UNIT
- DEMO EXISTING INTERIOR WALL
- DEMO EXISTING DOOR
- DEMO EXISTING STOREFRONT
- DEMO EXISTING STRUCTURAL COLUMN, SEE STRUCTURAL
- DEMO EXISTING CASEWORK
- DEMO ALL EXISTING INTERIOR FINISHES, FLOOR COVERINGS, INTERIOR PARTITIONS, FIXTURES, FURNITURE, EQUIPMENT, CEILING, LIGHTING, ELECTRICAL CONDUIT BACK TO MAIN DISTRIBUTION PANEL, AND HVAC DUCTWORK
- DEMO PLUMBING FIXTURES IN VACATED WEST SUITE WHERE INDICATED. CAP PLUMBING UNDER SLAB.
- DEMO FLOOR SINK, EQUIPMENT REMOVED BY PREVIOUS TENANT.
- DEMO PLUMBING FIXTURES IN VACATED EAST SUITE. CAP PLUMBING UNDER SLAB.



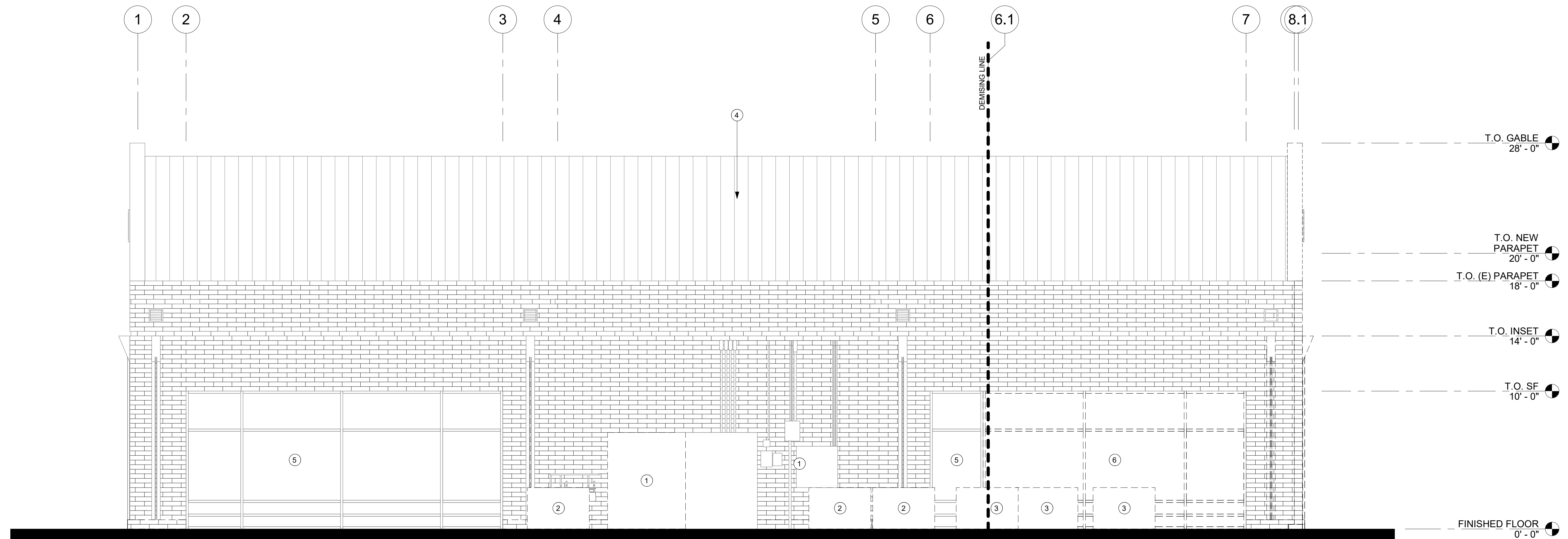
**1**  
**D111**  
EXISTING FLOOR PLAN  
3/16" = 1'-0"



KEYNOTE	
1	EXISTING ELECTRICAL EQUIPMENT
2	EXISTING AC UNIT TO REMAIN
3	EXISTING AC UNIT TO BE REMOVED
4	EXISTING SLOPED METAL ROOF
5	EXISTING STOREFRONT
6	DEMO PORTION OF EXISTING STOREFRONT
7	EXISTING EXTERIOR BRICK WALL
8	GABLE VENT
9	EXISTING ACCENT AND LIGHT, PREPARE METAL FOR NEW PAINT

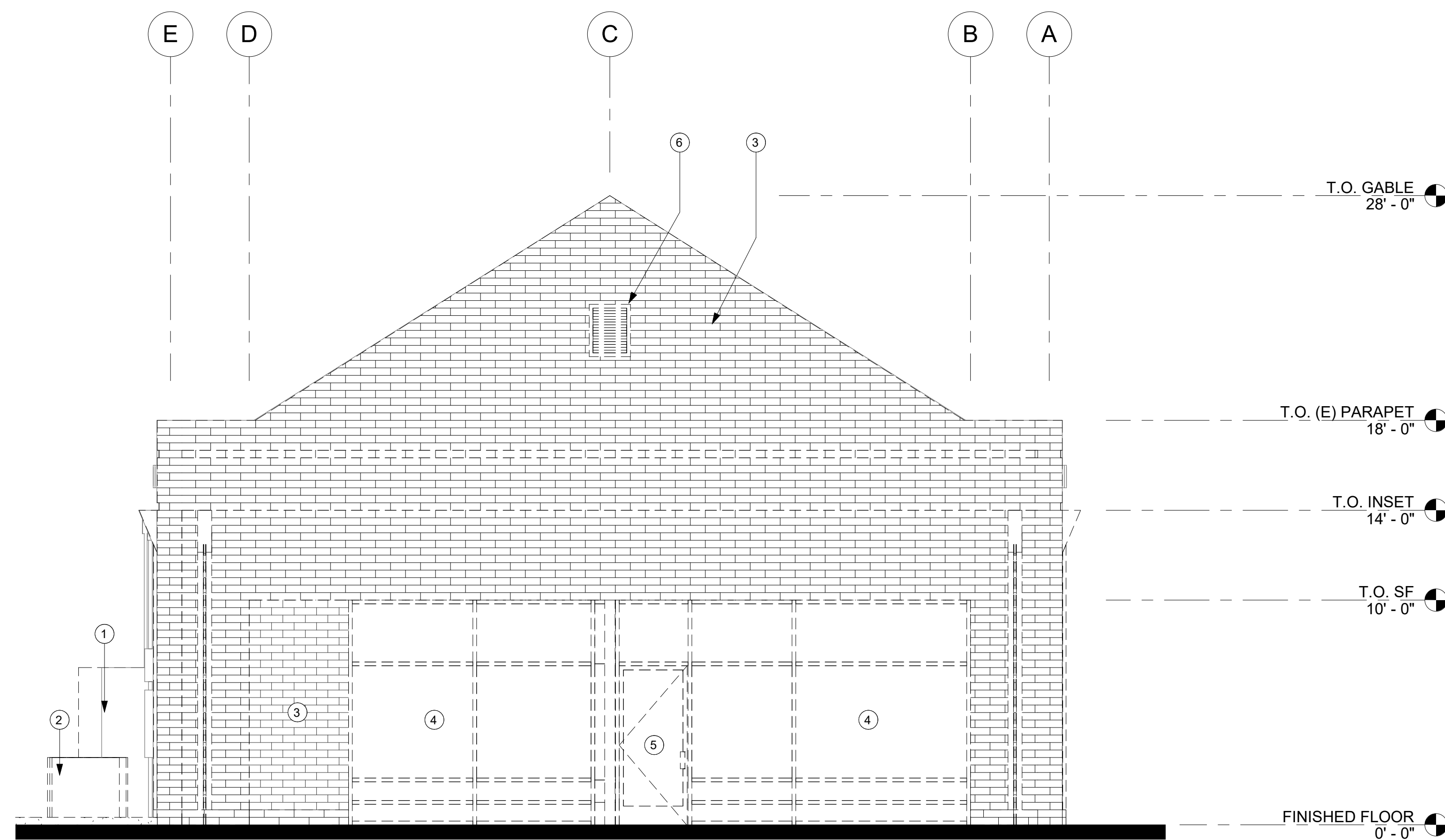


**1**  
**D201** **EXISTING EAST ELEVATION**  
1/4" = 1'-0"

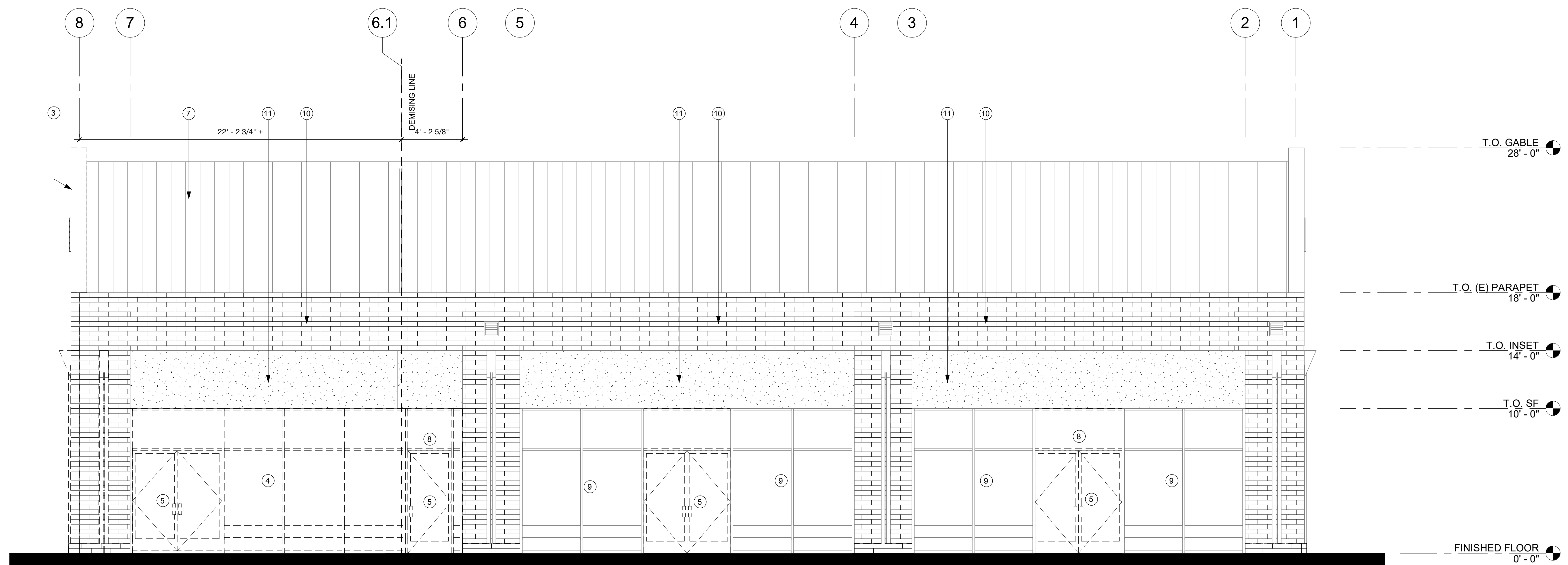


**2**  
**D201** **EXISTING NORTH ELEVATION**  
1/4" = 1'-0"

KEYNOTE	
1	EXISTING ELECTRICAL EQUIPMENT
2	EXISTING AC UNIT TO BE REMOVED
3	DEMO EXISTING EXTERIOR WALL
4	DEMO EXISTING STOREFRONT
5	
6	GABLE VENT
7	EXISTING SLOPED METAL ROOF
8	DEMO PORTION OF EXISTING STOREFRONT
9	EXISTING STOREFRONT
10	EXISTING EXTERIOR BRICK WALL
11	EXISTING EXTERIOR FRAMED WALL, DEMO EXISTING FINISH



**1**  
**D202** **EXISTING WEST ELEVATION**  
1/4" = 1'-0"



**2**  
**D202** **EXISTING SOUTH ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES**

1. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION
2. SEE CIVIL SHEETS FOR FINISH FLOOR AND SIDEWALK GRADES
3. SEE CIVIL SHEETS FOR UTILITY EASEMENTS
4. SEE LANDSCAPE SHEETS FOR LANDSCAPE/PLANT TYPES AND LOCATIONS
5. GENERAL CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL PER CIVIL.
6. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START WORK.
7. PATCH AND REPAIR ALL MODIFIED GRADES AND FINISH GRADES READY FOR NEW CONSTRUCTIONS.
8. CONTRACTOR TO PROVIDE ALL REQUIRED PROTECTION DURING CONSTRUCTION
9. CONTRACTOR SHALL CAP AND PROTECT DEMO UTILITY COMPONENTS.

**SITE DATA**

SITE LOCATION:  
ADDRESS: 10870 SW BARNES RD  
PROJECT ADDRESS: 10902-10910 SW BARNES RD  
TAX ASSESSORS NO: R2045357  
TAX MAP AND LOT: 1S103A001600

SITE AREA: 16.4 ACRES (712,359 SF)  
PROJECT AREA OF WORK: 81,230 SF (APPROX)

BUILDING AREA:	EXISTING	PROPOSED
ANCHOR 'A'	46,933 SF	
SHOPS 'B'	12,600 SF	
ANCHOR 'C'	50,000 SF	
SHOPS 'D'	15,400 SF	
RITE AID ANCHOR 'E'	20,100 SF	
SHOPS 'F'	8,080 SF	
OUTBACK RESTAURANT PAD 'G'	6,570 SF	
WELLS FARGO BANK PAD 'H'	4,700 SF	
SHOPS PAD 'I'	3,400 SF	+1,120 SF
SHOPS PAD 'J'		+2,950 SF
TOTAL BUILDING AREA	167,783 SF	171,853 SF

\*ANCHOR 'A' AREA INCLUDES 14,580 OF EXTERIOR GARDEN AND COVERED DISPLAY AREA

**PARKING REQUIREMENTS: (PER 1,000 SF GROSS FLOOR AREA)**

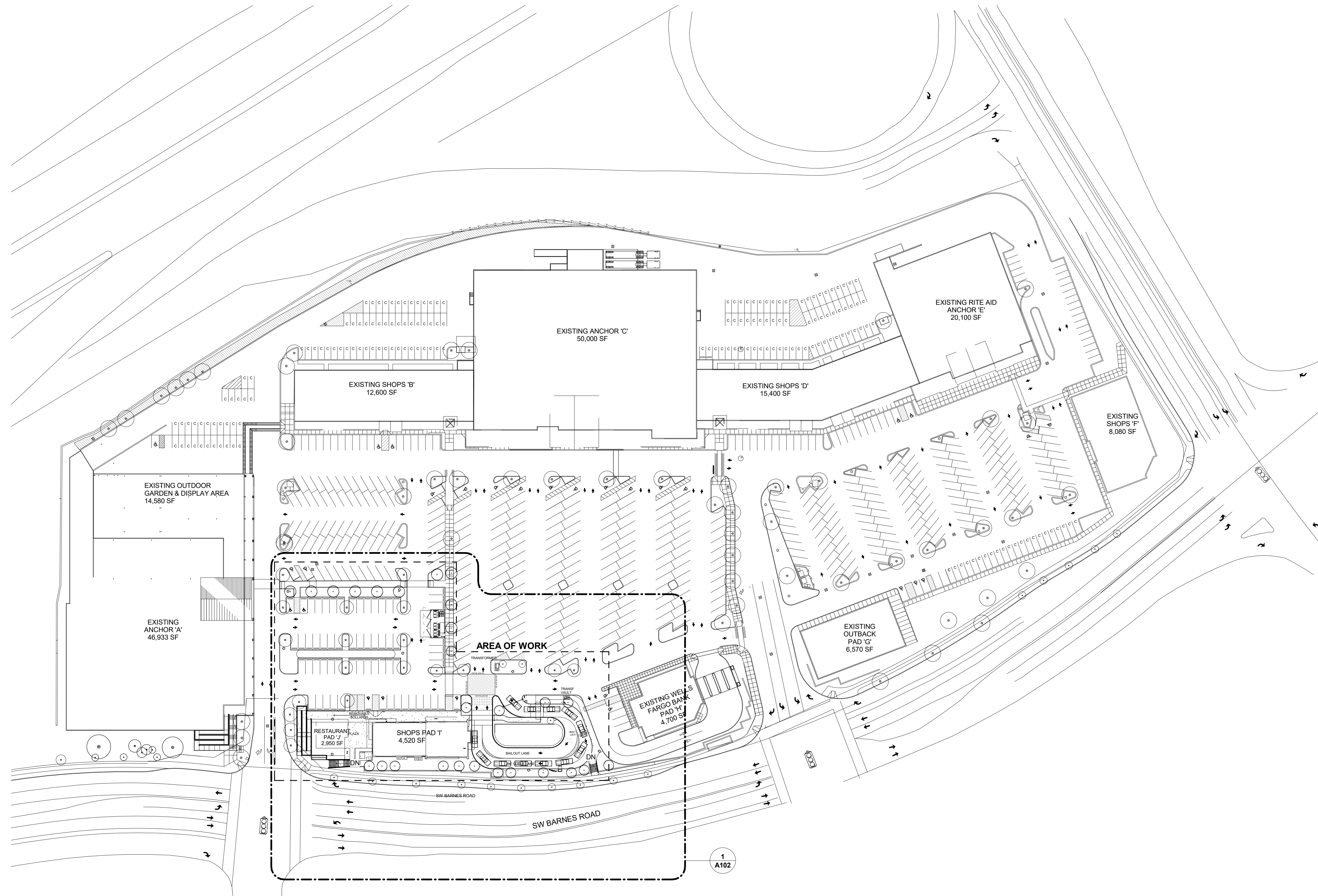
OCC. GROUP	SF	RATIO	MIN RQ	MAX
SHOPPING CENTER			554	855
EXISTING	167,783 SF	1:3.3	568	876
PROPOSED	171,911 SF	1:3.3	568	876
EXISTING SPACES:			754	SPACES
SPACES REMOVED OR DISTURBED:			-148	SPACES
INCLUDES -6 ACCESSIBLE SPACES				
SPACES ADDED:			+79	SPACES
INCLUDES +7 ACCESSIBLE SPACES				
TOTAL SPACES PROVIDED:			685	SPACES

ADA SPACES REQUIRED: 13 SPACES (2 VAN)  
ADA SPACES PROVIDED: 29 SPACES (2 VAN)

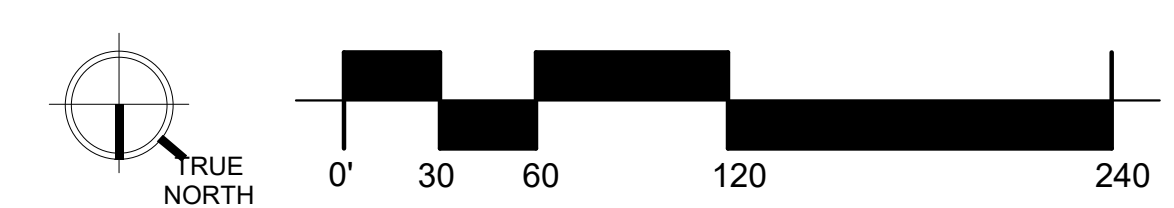
**BICYCLE REQUIREMENTS AT PADS 'I' & 'J':**

	LONG TERM	SHORT TERM
MINIMUM REQUIRED:	2 SPACES	2 SPACES
SPACES PROVIDED:	2 SPACES	2 SPACES

LANDSCAPE REQUIREMENTS: SEE LANDSCAPE DRAWINGS



**1 SITE PLAN**  
1" = 60'-0"



# APPROVED UNDER DR2022-0008/LO2022-0002 AND LU12023-00442



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised  
SITE PLAN REV 7 03.06.23

**PK 21052**

Original Issue: 11/02/22  
Drawn/Checked By: Autho#checker  
© 2023 Baysinger Partners Architecture

**OVERALL SITE  
PLAN**

**A101**

DESIGN REVIEW

## GENERAL NOTES

- SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION
- SEE CIVIL SHEETS FOR FINISH FLOOR AND SIDEWALK GRADES
- SEE CIVIL SHEETS FOR UTILITY EASEMENTS
- SEE LANDSCAPE SHEETS FOR LANDSCAPE/PLANT TYPES AND LOCATIONS
- GENERAL CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL PER CIVIL.
- VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START WORK.
- PATCH AND REPAIR ALL MODIFIED GRADES AND FINISH GRADES READY FOR NEW CONSTRUCTIONS.
- CONTRACTOR TO PROVIDE ALL REQUIRED PROTECTION DURING CONSTRUCTION
- CONTRACTOR SHALL CAP AND PROTECT DEMO UTILITY COMPONENTS.

## SITE DATA

SITE LOCATION:  
ADDRESS: 10870 SW BARNES RD  
PROJECT ADDRESS: 10902-10910 SW BARNES RD  
TAX ASSESSORS NO: R2045357  
TAX MAP AND LOT: 1S103A001600

SITE AREA: 16.4 ACRES (712,359 SF)  
PROJECT AREA OF WORK: 81,230 SF (APPROX)

BUILDING AREA:	EXISTING	PROPOSED
ANCHOR 'A'	46,933 SF	
SHOPS 'B'	12,600 SF	
ANCHOR 'C'	50,000 SF	
SHOPS 'D'	15,400 SF	
RITE AID ANCHOR 'E'	20,100 SF	
SHOPS 'F'	8,080 SF	
OUTBACK RESTAURANT PAD 'G'	6,570 SF	
WELLS FARGO BANK PAD 'H'	4,700 SF	
SHOPS PAD 'I'	3,400 SF	+1,120 SF
SHOPS PAD 'J'		+2,950 SF
TOTAL BUILDING AREA	167,783 SF	171,853 SF

\*ANCHOR 'A' AREA INCLUDES 14,580 OF EXTERIOR GARDEN AND COVERED DISPLAY AREA

### PARKING REQUIREMENTS: (PER 1,000 SF GROSS FLOOR AREA)

OCC. GROUP	SF	RATIO	MIN RQ	MAX
SHOPPING CENTER			554	855
EXISTING	167,783 SF	1:3.3	568	876
PROPOSED	171,911 SF	1:3.3	568	876

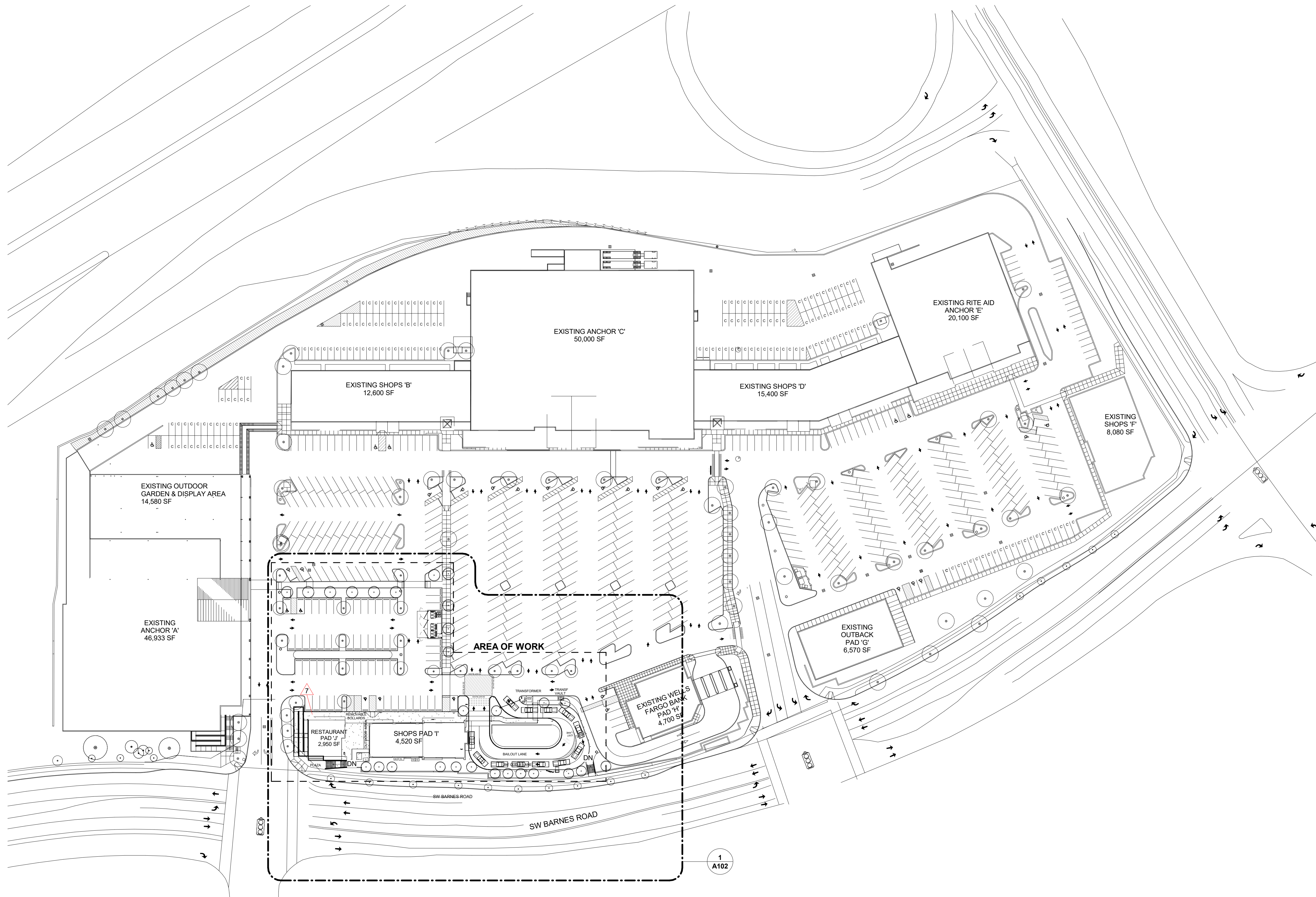
EXISTING SPACES: 754 SPACES  
SPACES REMOVED OR DISTURBED: -148 SPACES  
INCLUDES -6 ACCESSIBLE SPACES  
SPACES ADDED: +79 SPACES  
INCLUDES +7 ACCESSIBLE SPACES  
TOTAL SPACES PROVIDED: 685 SPACES

ADA SPACES REQUIRED: 13 SPACES (2 VAN)  
ADA SPACES PROVIDED: 29 SPACES (2 VAN)

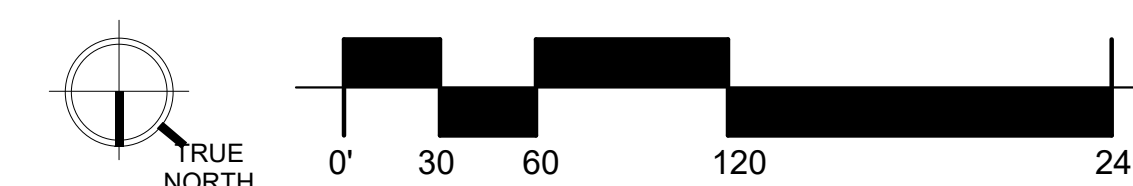
### BICYCLE REQUIREMENTS AT PADS 'I' & 'J':

	LONG TERM	SHORT TERM
MINIMUM REQUIRED:	2 SPACES	2 SPACES
SPACES PROVIDED:	2 SPACES	2 SPACES

LANDSCAPE REQUIREMENTS: SEE LANDSCAPE DRAWINGS



**1 SITE PLAN**  
1" = 60'-0"

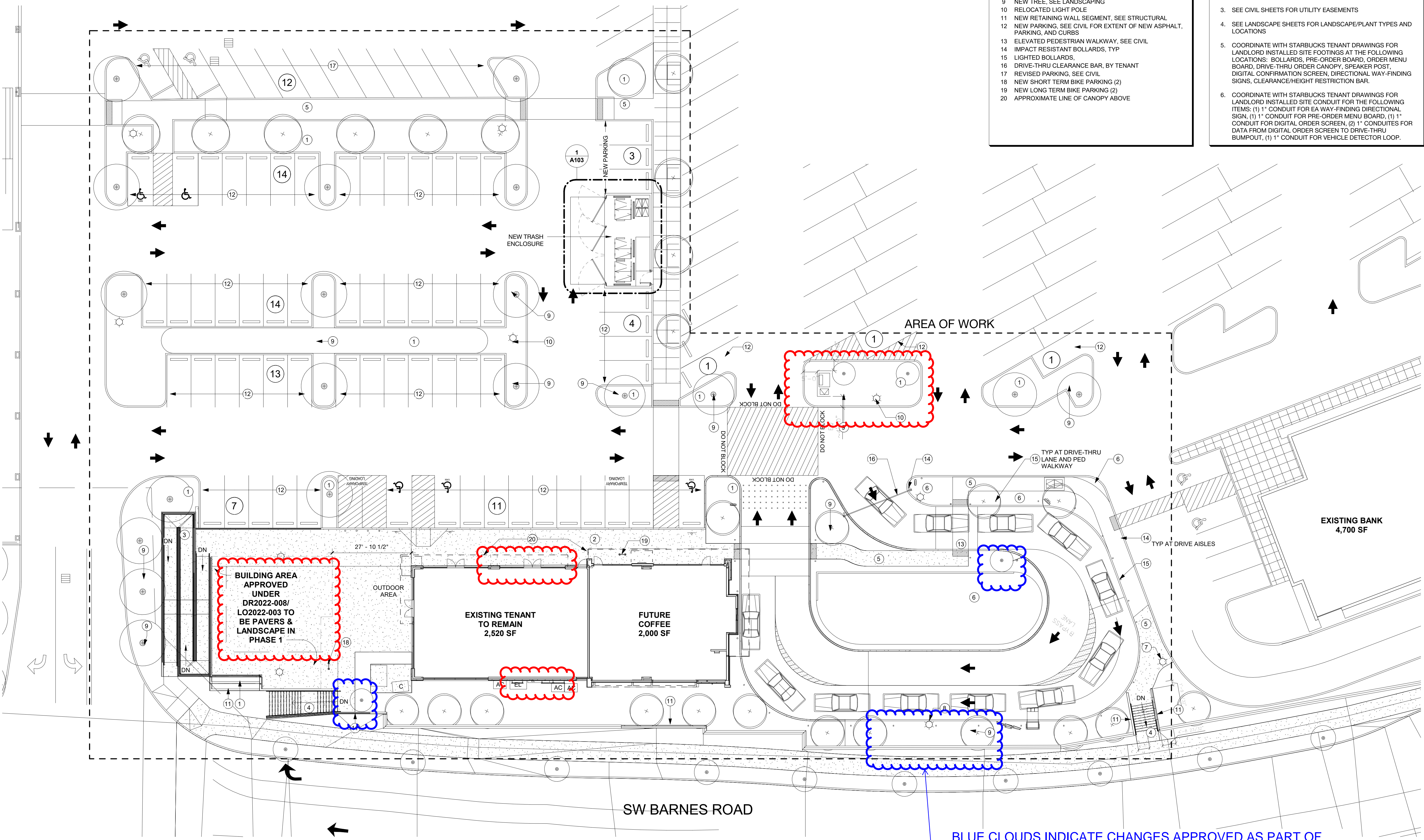


**SITE KEYNOTE**

- 1 NEW RAISED PLANTER
- 2 NEW SIDEWALK AT BUILDING, FINISHED SURFACE TO BE FLOAT TROWELED WITH TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2" WIDE SMOOTH TROWELED DETAIL AT CONTROL JOINTS.
- 3 NEW RAMP, SEE CIVIL
- 4 NEW SITE STAIR, SEE CIVIL
- 5 NEW SIDEWALK AT LANDSCAPING
- 6 NEW LANDSCAPE
- 7 RELOCATE EXISTING LIGHT POLE, SEE SITE PLAN FOR NEW LOCATION
- 8 NEW LIGHT POLE
- 9 NEW TREE, SEE LANDSCAPING
- 10 RELOCATED LIGHT POLE
- 11 NEW RETAINING WALL SEGMENT, SEE STRUCTURAL
- 12 NEW PARKING, SEE CIVIL FOR EXTENT OF NEW ASPHALT, PARKING, AND CURBS
- 13 ELEVATED PEDESTRIAN WALKWAY, SEE CIVIL
- 14 IMPACT RESISTANT BOLLARDS, TYP
- 15 LIGHTED BOLLARDS
- 16 DRIVE-THRU CLEARANCE BAR, BY TENANT
- 17 REVISED PARKING, SEE CIVIL
- 18 NEW SHORT TERM BIKE PARKING (2)
- 19 NEW LONG TERM BIKE PARKING (2)
- 20 APPROXIMATE LINE OF CANOPY ABOVE

**SITE INFORMATION/GEN NOTES**

- APPROX AREA OF WORK: 81,230 SF (1.86 ACRES)
- PARKING SPACES TO BE ADDED: 81 SPACES  
ACCESSIBLE PARKING 7 SPACES
- \*SEE CIVIL DOCUMENTS FOR EXTENT OF LANDSCAPE AND HARDSCAPE TO BE REMOVED OR ALTERED
1. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION
  2. SEE CIVIL SHEETS FOR FINISH FLOOR AND SIDEWALK GRADES
  3. SEE CIVIL SHEETS FOR UTILITY EASEMENTS
  4. SEE LANDSCAPE SHEETS FOR LANDSCAPE/PLANT TYPES AND LOCATIONS
  5. COORDINATE WITH STARBUCKS TENANT DRAWINGS FOR LANDLORD INSTALLED SITE FOOTINGS AT THE FOLLOWING LOCATIONS: BOLLARDS, PRE-ORDER BOARD, ORDER MENU BOARD, DRIVE-THRU ORDER CANOPY, SPEAKER POST, DIGITAL CONFIRMATION SCREEN, DIRECTIONAL WAY-FINDING SIGNS, CLEARANCE/HEIGHT RESTRICTION BAR.
  6. COORDINATE WITH STARBUCKS TENANT DRAWINGS FOR LANDLORD INSTALLED SITE CONDUIT FOR THE FOLLOWING ITEMS: (1) 1" CONDUIT FOR EA WAY-FINDING DIRECTIONAL SIGN, (1) 1" CONDUIT FOR PRE-ORDER MENU BOARD, (1) 1" CONDUIT FOR DIGITAL ORDER SCREEN, (2) 1" CONDUITS FOR DATA FROM DIGITAL ORDER SCREEN TO DRIVE-THRU BUMPOUT, (1) 1" CONDUIT FOR VEHICLE DETECTOR LOOP.



BLUE CLOUDS INDICATE CHANGES APPROVED AS PART OF BUILDING PERMIT REVIEW AFTER LU1203-00442 APPROVAL

Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised

**PK 21052**  
Original Issue: 01.15.2024  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

**PHASE 1  
ENLARGED SITE  
PLAN**

**A102a**

DESIGN REVIEW

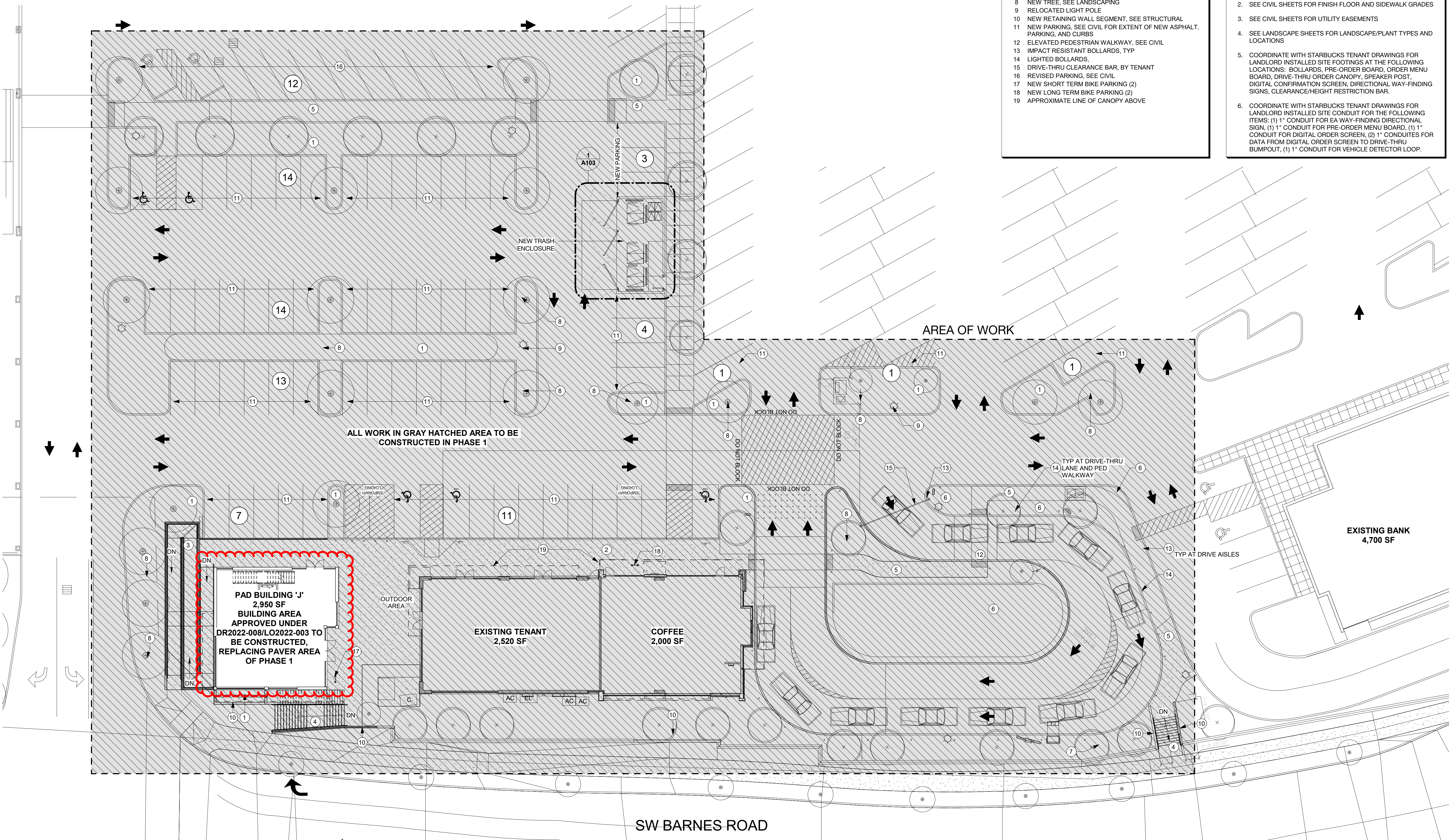


**SITE KEYNOTE**

- 1 NEW RAISED PLANTER
- 2 NEW SIDEWALK AT BUILDING. FINISHED SURFACE TO BE FLOAT TROWELED WITH TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2" WIDE SMOOTH TROWELED DETAIL AT CONTROL JOINTS.
- 3 NEW RAMP. SEE CIVIL
- 4 NEW SITE STAIR. SEE CIVIL
- 5 NEW SIDEWALK AT LANDSCAPING
- 6 NEW LANDSCAPE
- 7 RELOCATE EXISTING LIGHT POLE. SEE SITE PLAN FOR NEW LOCATION
- 8 NEW TREE. SEE LANDSCAPING
- 9 RELOCATED LIGHT POLE
- 10 NEW RETAINING WALL SEGMENT. SEE STRUCTURAL
- 11 NEW PARKING. SEE CIVIL FOR EXTENT OF NEW ASPHALT, PARKING, AND CURBS
- 12 ELEVATED PEDESTRIAN WALKWAY. SEE CIVIL
- 13 IMPACT RESISTANT BOLLARDS, TYP
- 14 LIGHTED BOLLARDS
- 15 DRIVE-THRU CLEARANCE BAR, BY TENANT
- 16 REVISED PARKING. SEE CIVIL
- 17 NEW SHORT TERM BIKE PARKING (2)
- 18 NEW LONG TERM BIKE PARKING (2)
- 19 APPROXIMATE LINE OF CANOPY ABOVE

**SITE INFORMATION/GEN NOTES**

- APPROX AREA OF WORK: 81,230 SF (1.86 ACRES)
- PARKING SPACES TO BE ADDED: 81 SPACES  
 ACCESSIBLE PARKING 7 SPACES
- \*SEE CIVIL DOCUMENTS FOR EXTENT OF LANDSCAPE AND HARDSCAPE TO BE REMOVED OR ALTERED
1. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION
  2. SEE CIVIL SHEETS FOR FINISH FLOOR AND SIDEWALK GRADES
  3. SEE CIVIL SHEETS FOR UTILITY EASEMENTS
  4. SEE LANDSCAPE SHEETS FOR LANDSCAPE/PLANT TYPES AND LOCATIONS
  5. COORDINATE WITH STARBUCKS TENANT DRAWINGS FOR LANDLORD INSTALLED SITE FOOTINGS AT THE FOLLOWING LOCATIONS: BOLLARDS, PRE-ORDER BOARD, ORDER MENU BOARD, DRIVE-THRU ORDER CANOPY, SPEAKER POST, DIGITAL CONFIRMATION SCREEN, DIRECTIONAL WAY-FINDING SIGNS, CLEARANCE/HEIGHT RESTRICTION BAR.
  6. COORDINATE WITH STARBUCKS TENANT DRAWINGS FOR LANDLORD INSTALLED SITE CONDUIT FOR THE FOLLOWING ITEMS: (1) 1" CONDUIT FOR EA WAY-FINDING DIRECTIONAL SIGN, (1) 1" CONDUIT FOR PRE-ORDER MENU BOARD, (1) 1" CONDUIT FOR DIGITAL ORDER SCREEN, (2) 1" CONDUITS FOR DATA FROM DIGITAL ORDER SCREEN TO DRIVE-THRU BUMP/OUT, (1) 1" CONDUIT FOR VEHICLE DETECTOR LOOP.



Well-crafted simplicity.

PETERKORT  
 MANAGEMENT CO.  
**TOWNE SQUARE  
 STARBUCKS  
 AND PAD**

Issued / Revised

**PK 21052**

Original Issue: 01.15.2024  
 Drawn/Checked By: JML / MAV  
 © 2023 Baysinger Partners Architecture

**PHASE 2  
 ENLARGED SITE  
 PLAN**

**A102b**

DESIGN REVIEW

SITE KEYNOTE

- 1 NEW RAISED PLANTER
- 2 NEW SIDEWALK AT BUILDING, FINISHED SURFACE TO BE FLOAT TROWELED WITH TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2" WIDE SMOOTH TROWELED DETAIL AT CONTROL JOINTS.
- 3 NEW RAMP, SEE CIVIL
- 4 NEW SITE STAIR, SEE CIVIL
- 5 NEW SIDEWALK AT LANDSCAPING
- 6 NEW LANDSCAPE
- 7 NEW TREE, SEE LANDSCAPING
- 8 RELOCATE EXISTING LIGHT POLE, SEE SITE PLAN FOR NEW LOCATION
- 9 NEW LIGHT POLE
- 10 RELOCATED LIGHT POLE
- 11 NEW RETAINING WALL SEGMENT, SEE STRUCTURAL
- 12 NEW PARKING, SEE CIVIL FOR EXTENT OF NEW ASPHALT, PARKING, AND CURBS
- 13 ELEVATED PEDESTRIAN WALKWAY, SEE CIVIL
- 14 IMPACT RESISTANT BOLLARDS, TYP
- 15 LIGHTED BOLLARDS
- 16 DRIVE-THRU CLEARANCE BAR, BY TENANT
- 17 REVISED PARKING, SEE CIVIL
- 18 NEW SHORT TERM BIKE PARKING (2)
- 19 NEW LONG TERM BIKE PARKING (2)
- 20 APPROXIMATE LINE OF CANOPY ABOVE

SITE INFORMATION/GEN NOTES

- APPROX AREA OF WORK: 81,230 SF (1.86 ACRES)
- PARKING SPACES TO BE ADDED: 79 SPACES  
ACCESSIBLE PARKING 7 SPACES
- \*SEE CIVIL DOCUMENTS FOR EXTENT OF LANDSCAPE AND HARDSCAPE TO BE REMOVED OR ALTERED
1. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION
  2. SEE CIVIL SHEETS FOR FINISH FLOOR AND SIDEWALK GRADES
  3. SEE CIVIL SHEETS FOR UTILITY EASEMENTS
  4. SEE LANDSCAPE SHEETS FOR LANDSCAPE/PLANT TYPES AND LOCATIONS
  5. COORDINATE WITH STARBUCKS TENANT DRAWINGS FOR LANDLORD INSTALLED SITE FOOTINGS AT THE FOLLOWING LOCATIONS: BOLLARDS, PRE-ORDER BOARD, ORDER MENU BOARD, DRIVE-THRU ORDER CANOPY, SPEAKER POST, DIGITAL CONFIRMATION SCREEN, DIRECTIONAL WAY-FINDING SIGNS, CLEARANCE/HEIGHT RESTRICTION BAR.
  6. COORDINATE WITH STARBUCKS TENANT DRAWINGS FOR LANDLORD INSTALLED SITE CONDUIT FOR THE FOLLOWING ITEMS: (1) 1" CONDUIT FOR EA WAY-FINDING DIRECTIONAL SIGN, (1) 1" CONDUIT FOR PRE-ORDER MENU BOARD, (1) 1" CONDUIT FOR DIGITAL ORDER SCREEN, (2) 1" CONDUITS FOR DATA FROM DIGITAL ORDER SCREEN TO DRIVE-THRU BUMPOUT, (1) 1" CONDUIT FOR VEHICLE DETECTOR LOOP.



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
TOWNE SQUARE  
STARBUCKS  
AND PAD

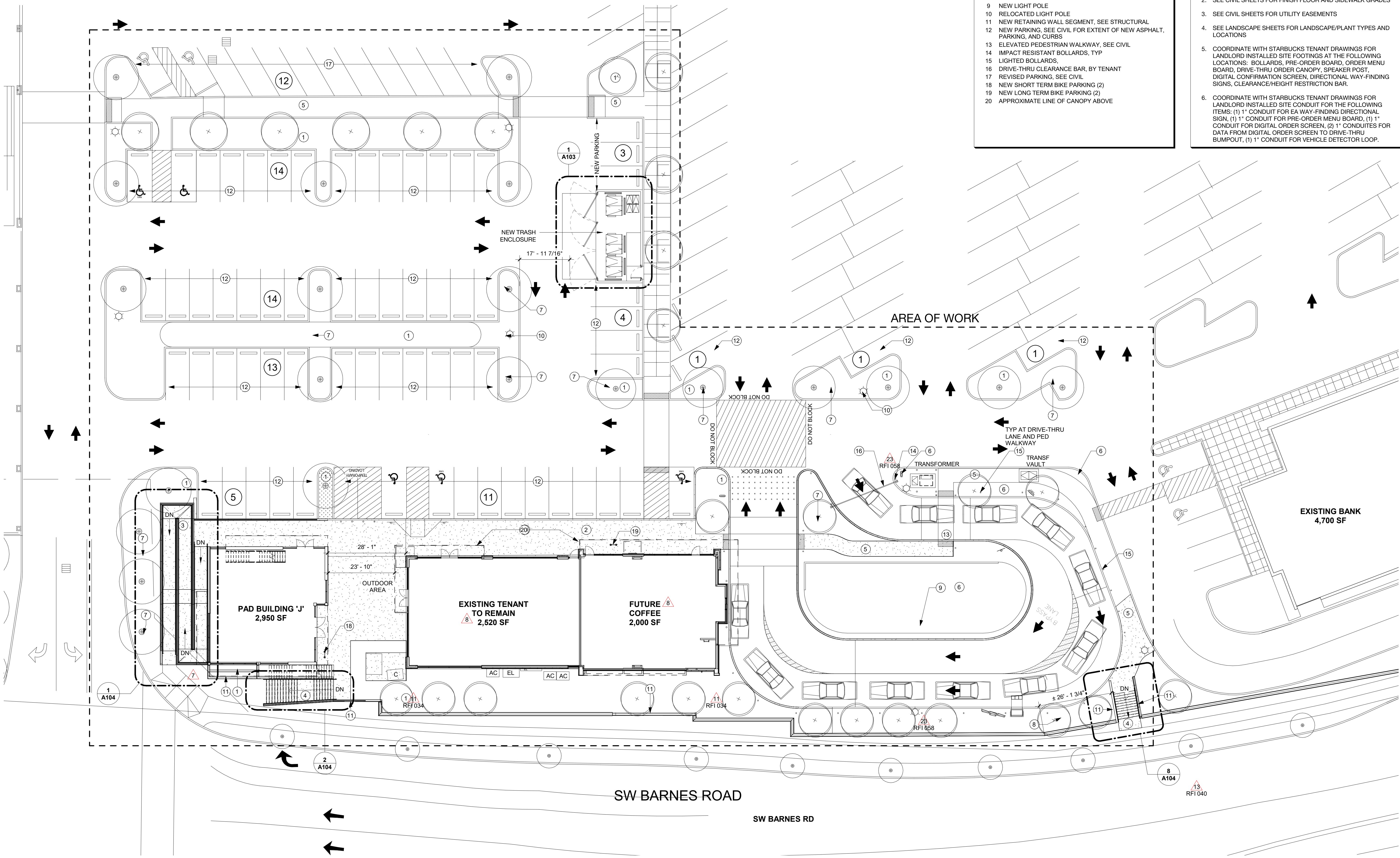
Issued / Revised

PK 21052  
Original Issue: 06/22/2023  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

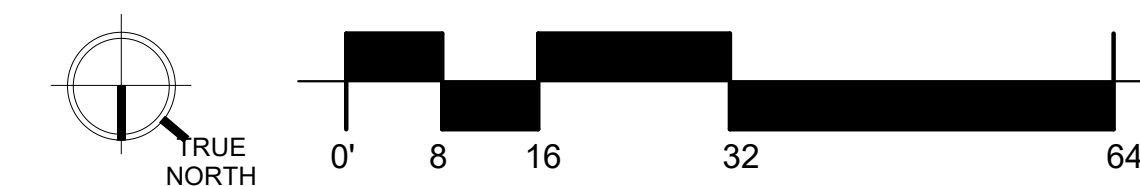
ENLARGED SITE  
PLAN & SITE  
DETAILS

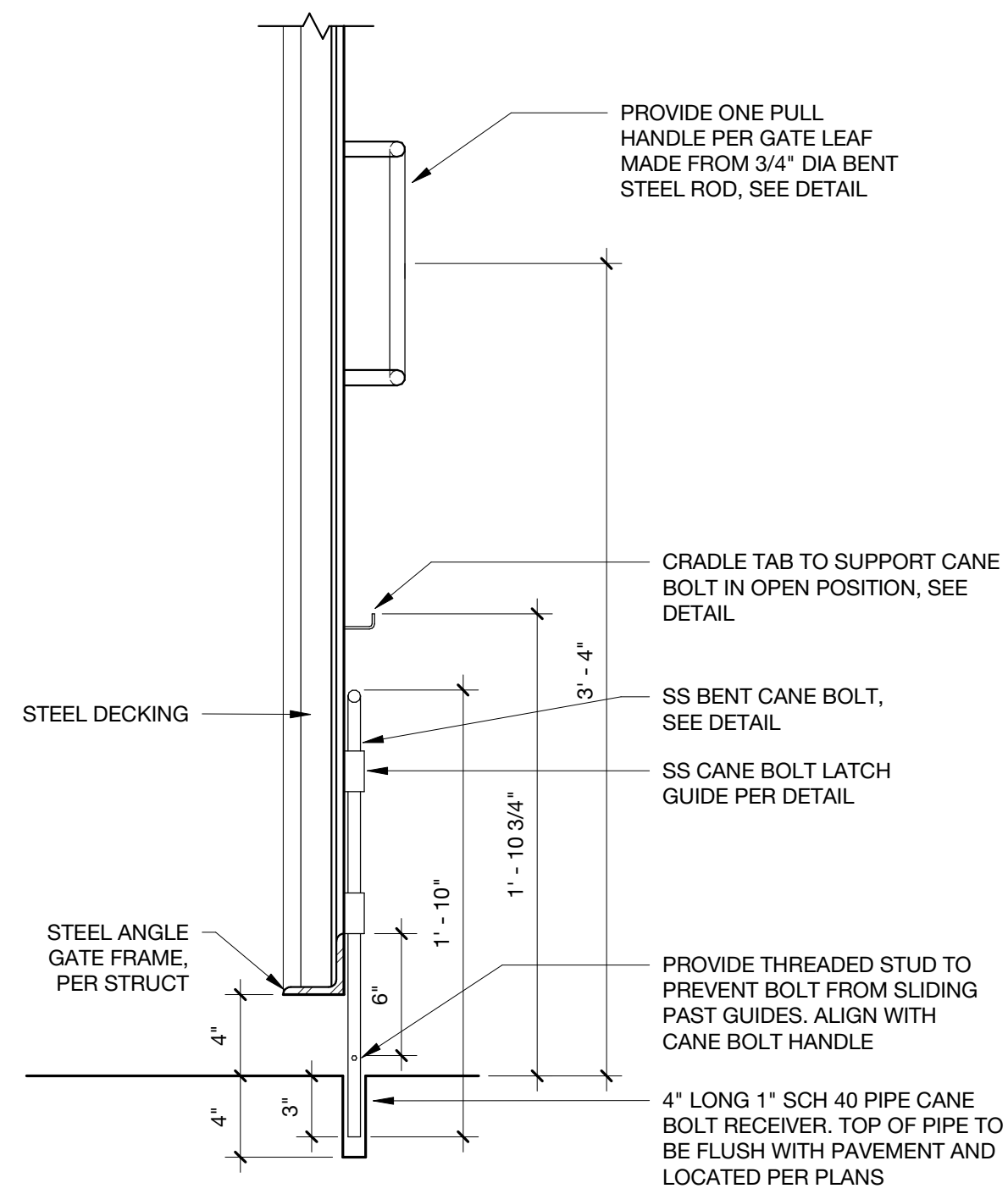
A102

DESIGN REVIEW

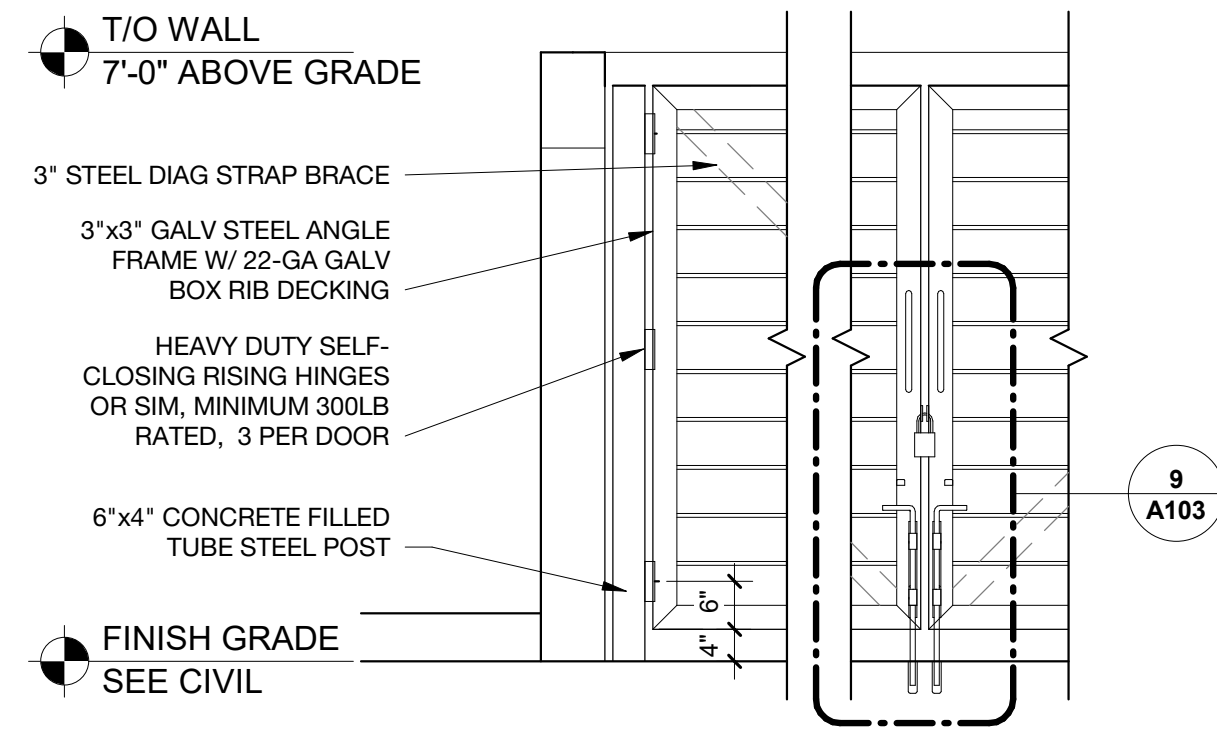


1 A102 ENLARGED SITE PLAN  
1/16" = 1'-0"

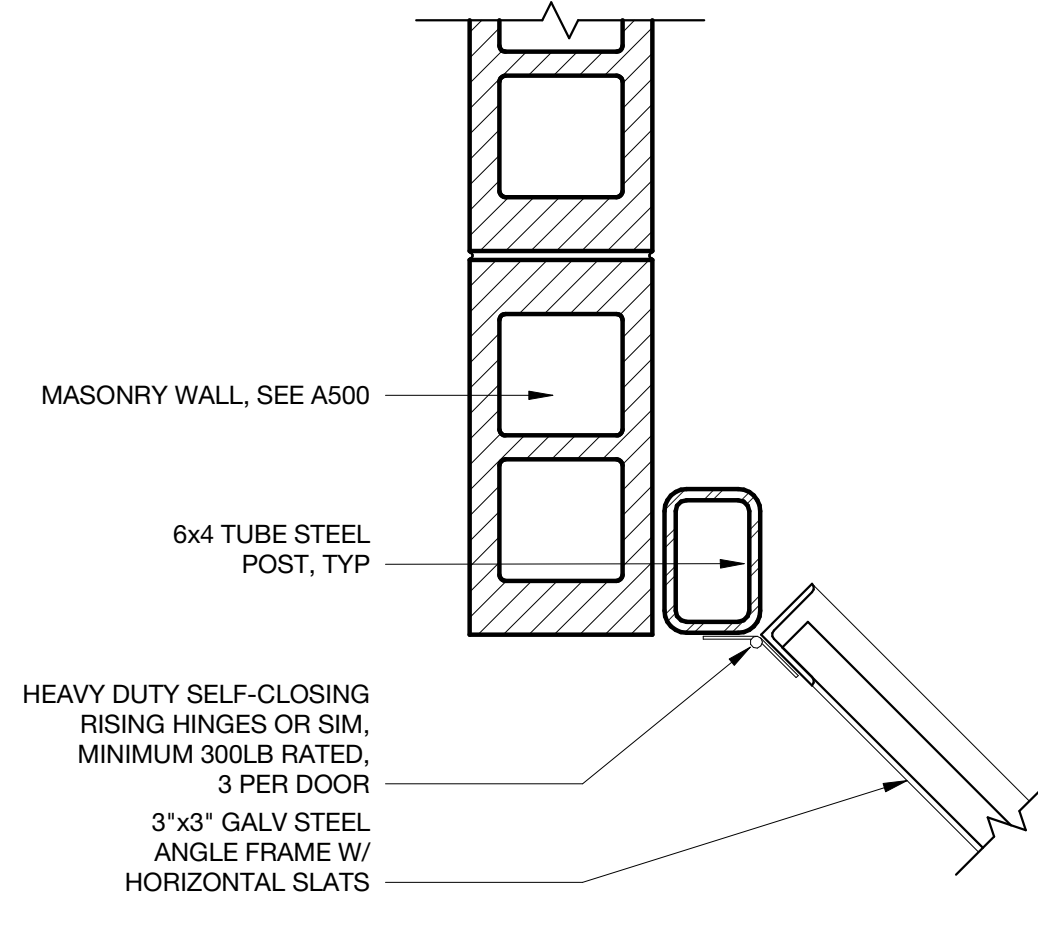




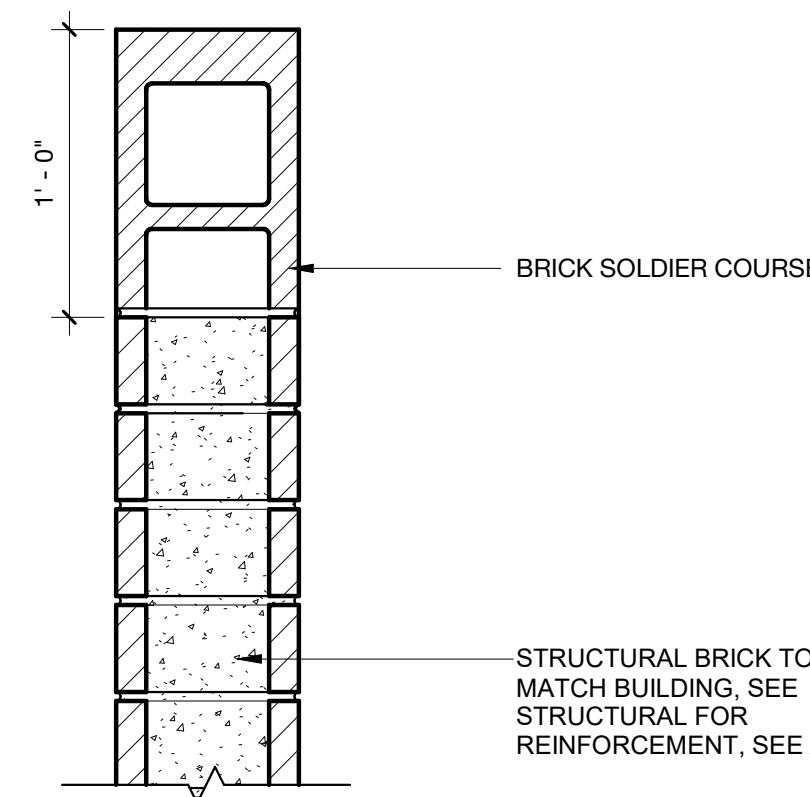
**TRASH ENCLOSURE  
GATE SECTION**  
9 A103 1 1/2" = 1'-0"



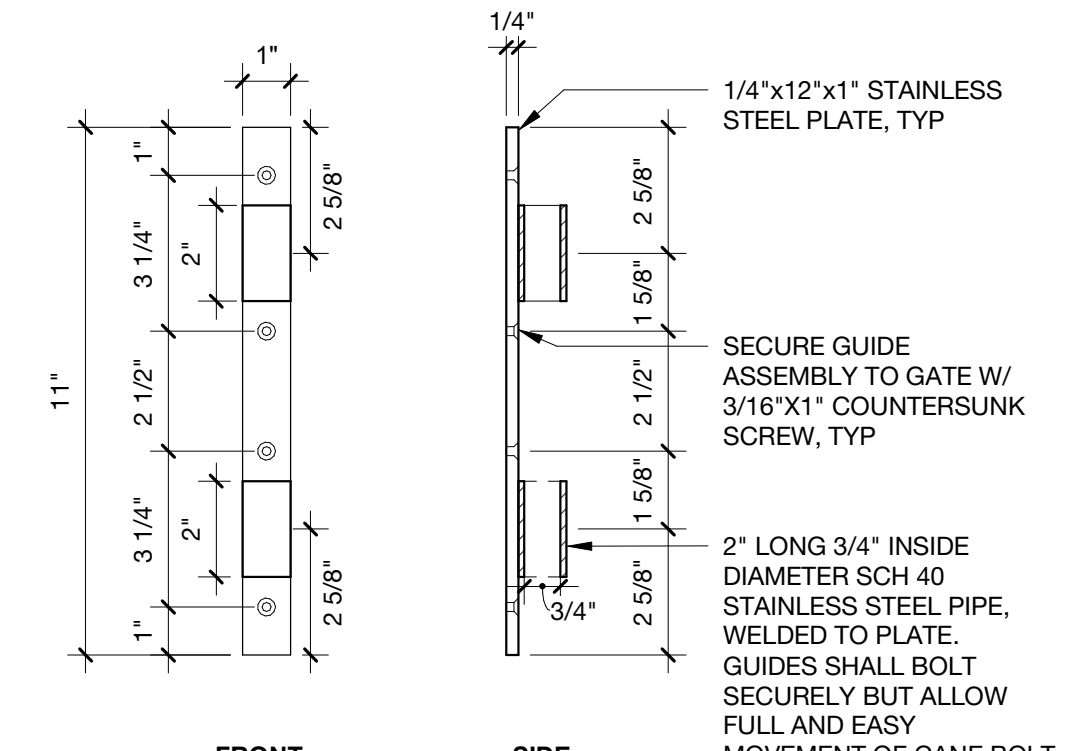
**TRASH ENCLOSURE ELEVATION  
DETAIL**  
8 A103 1 1/2" = 1'-0"



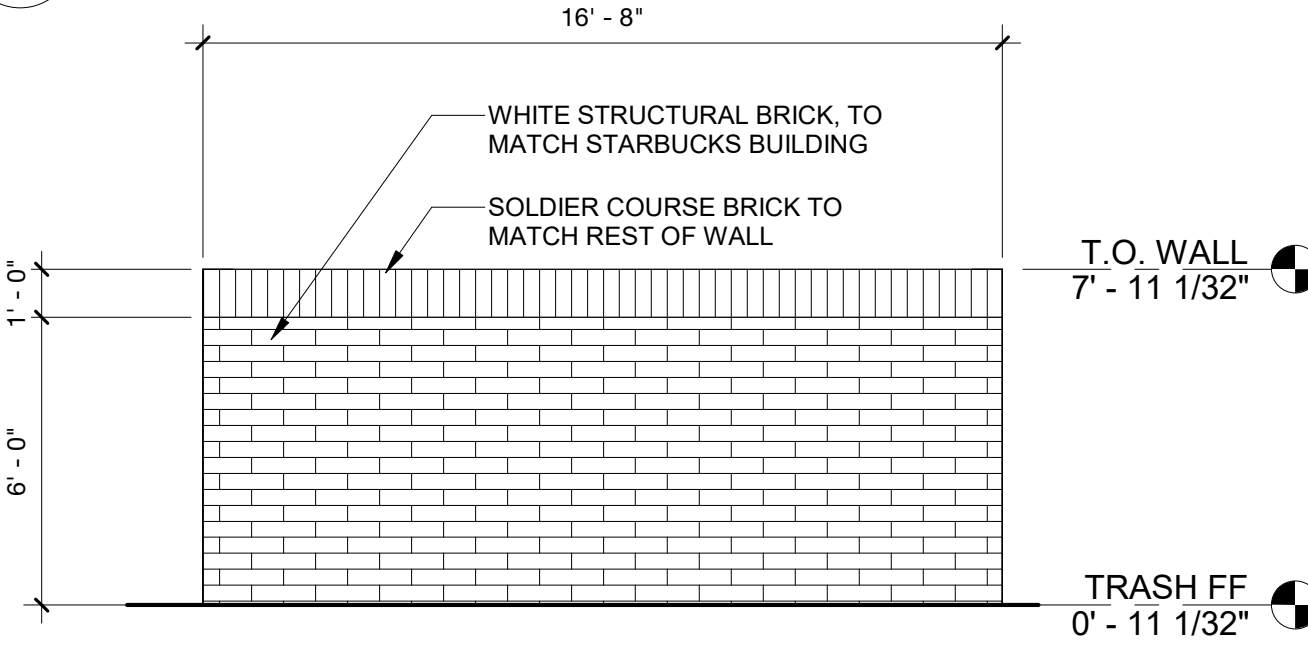
**TRASH ENCLOSURE GATE DETAIL**  
10 A103 1 1/2" = 1'-0"



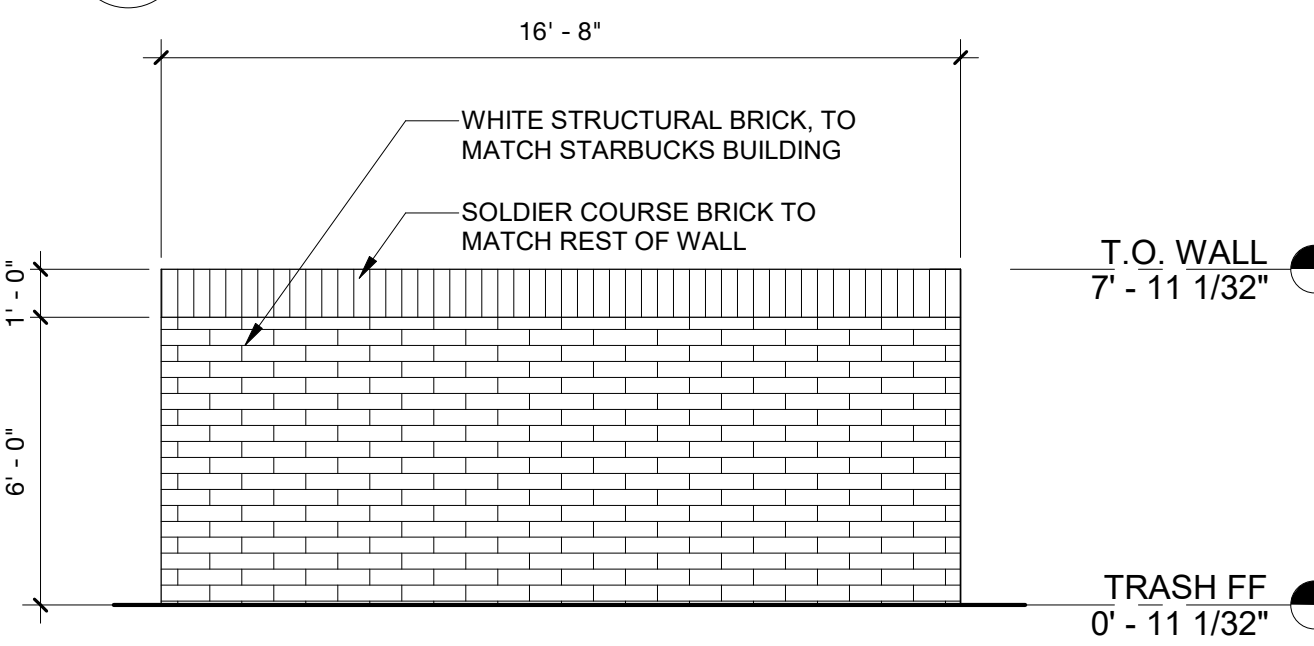
**WALL TYPE M -  
TRASH ENCLOSURE**  
6 A103 1 1/2" = 1'-0"



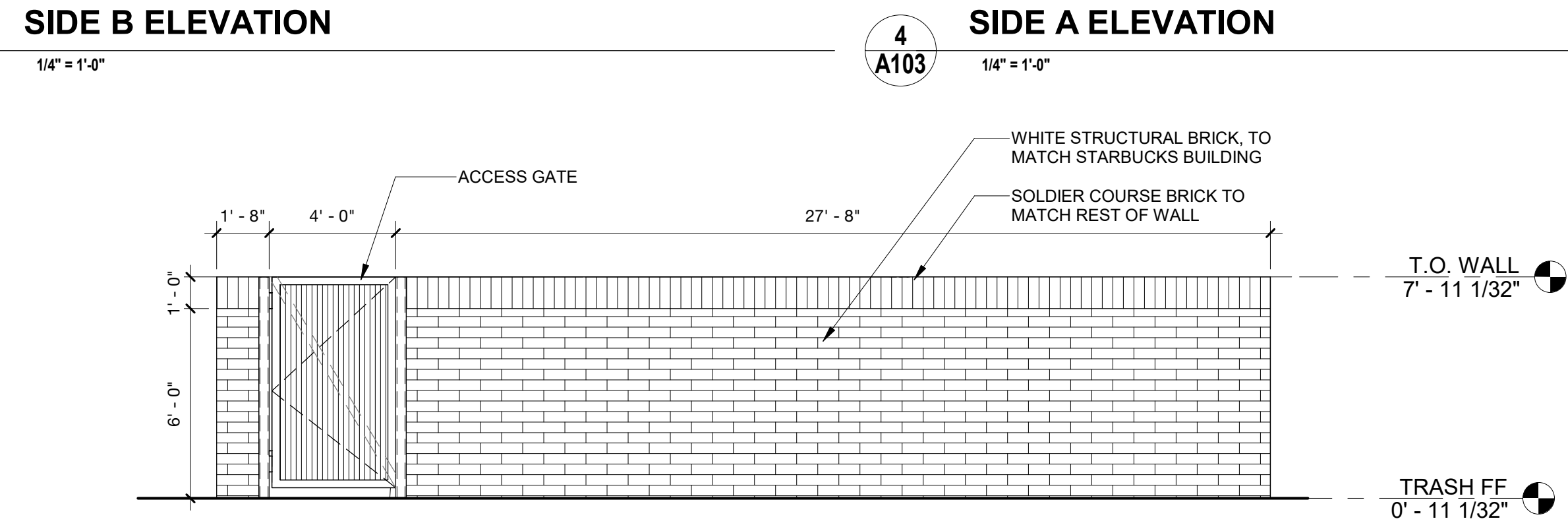
**TRASH ENCLOSURE  
DETAILS - CANE BOLTS**  
7 A103 3" = 1'-0"



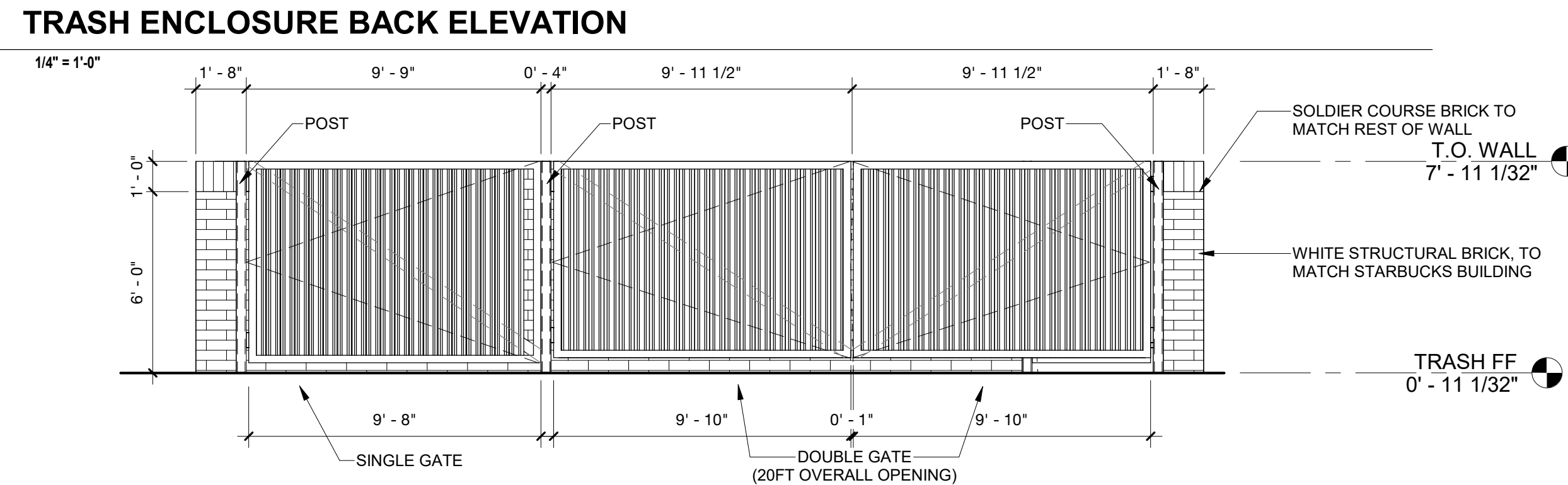
**SIDE B ELEVATION**  
5 A103 1/4" = 1'-0"



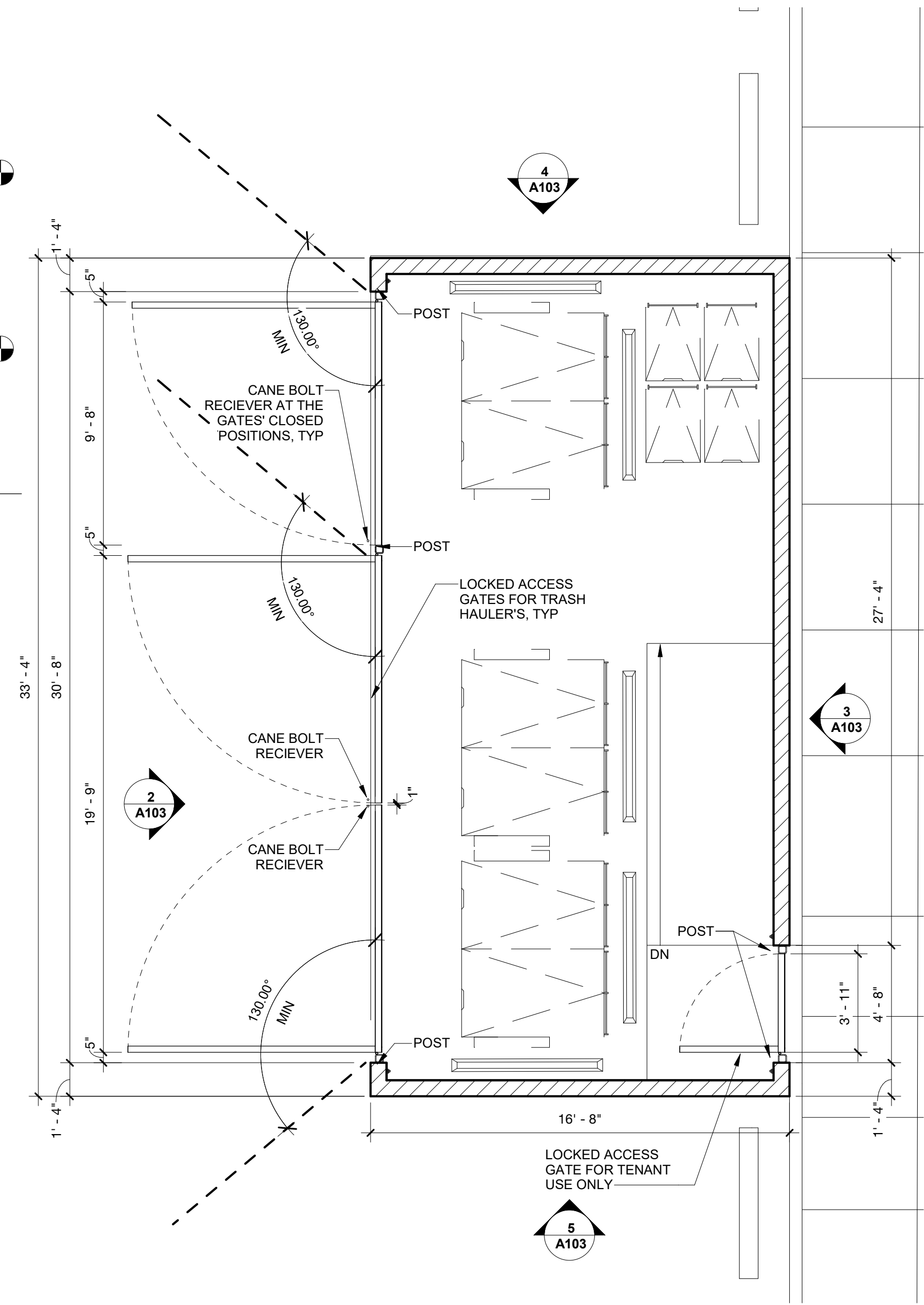
**SIDE A ELEVATION**  
4 A103 1/4" = 1'-0"



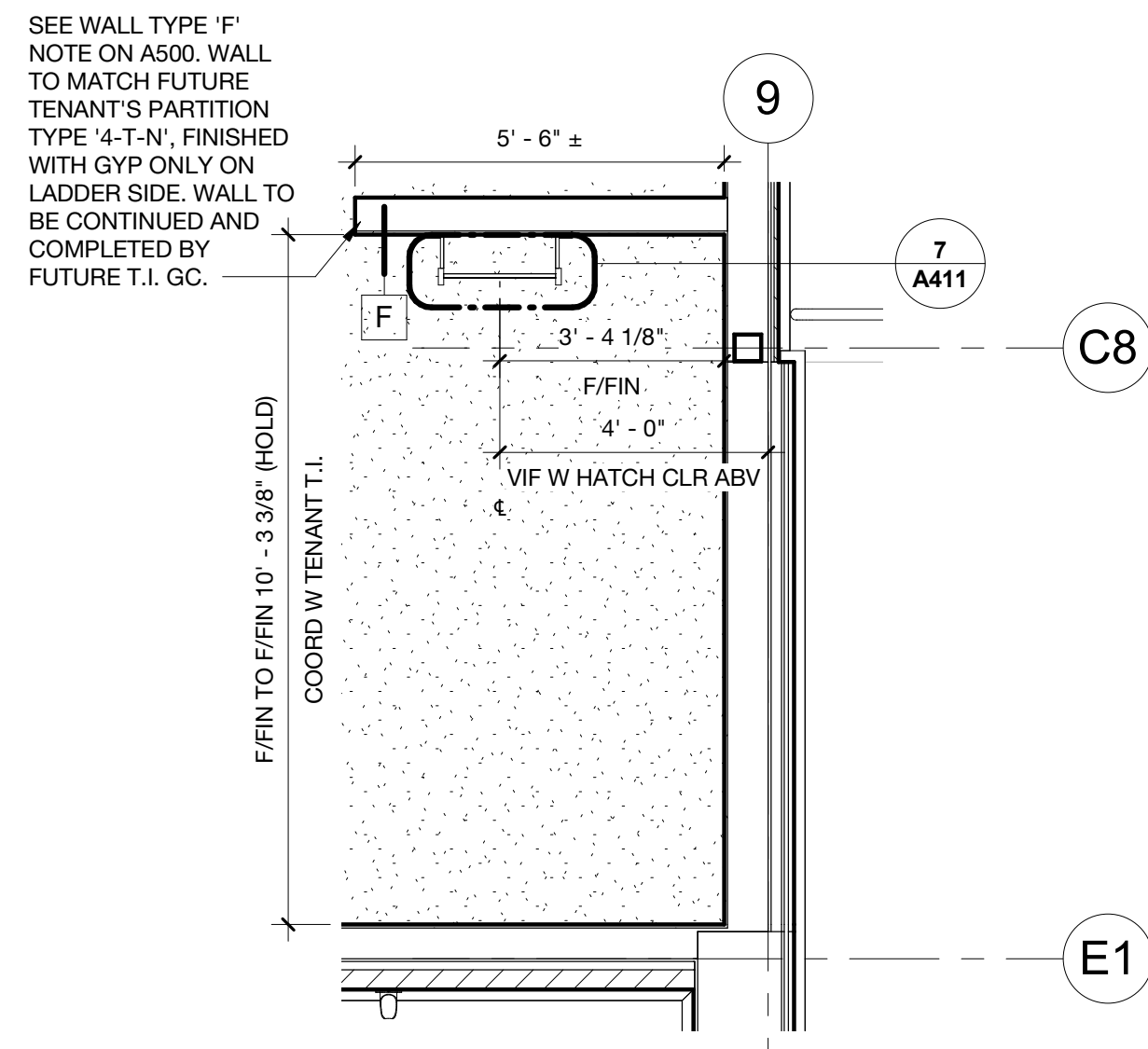
**TRASH ENCLOSURE BACK ELEVATION**  
3 A103 1/4" = 1'-0"



**TRASH ENCLOSURE FRONT ELEVATION**  
2 A103 1/4" = 1'-0"



**TRASH ENCLOSURE PLAN**  
1 A103 1/4" = 1'-0"



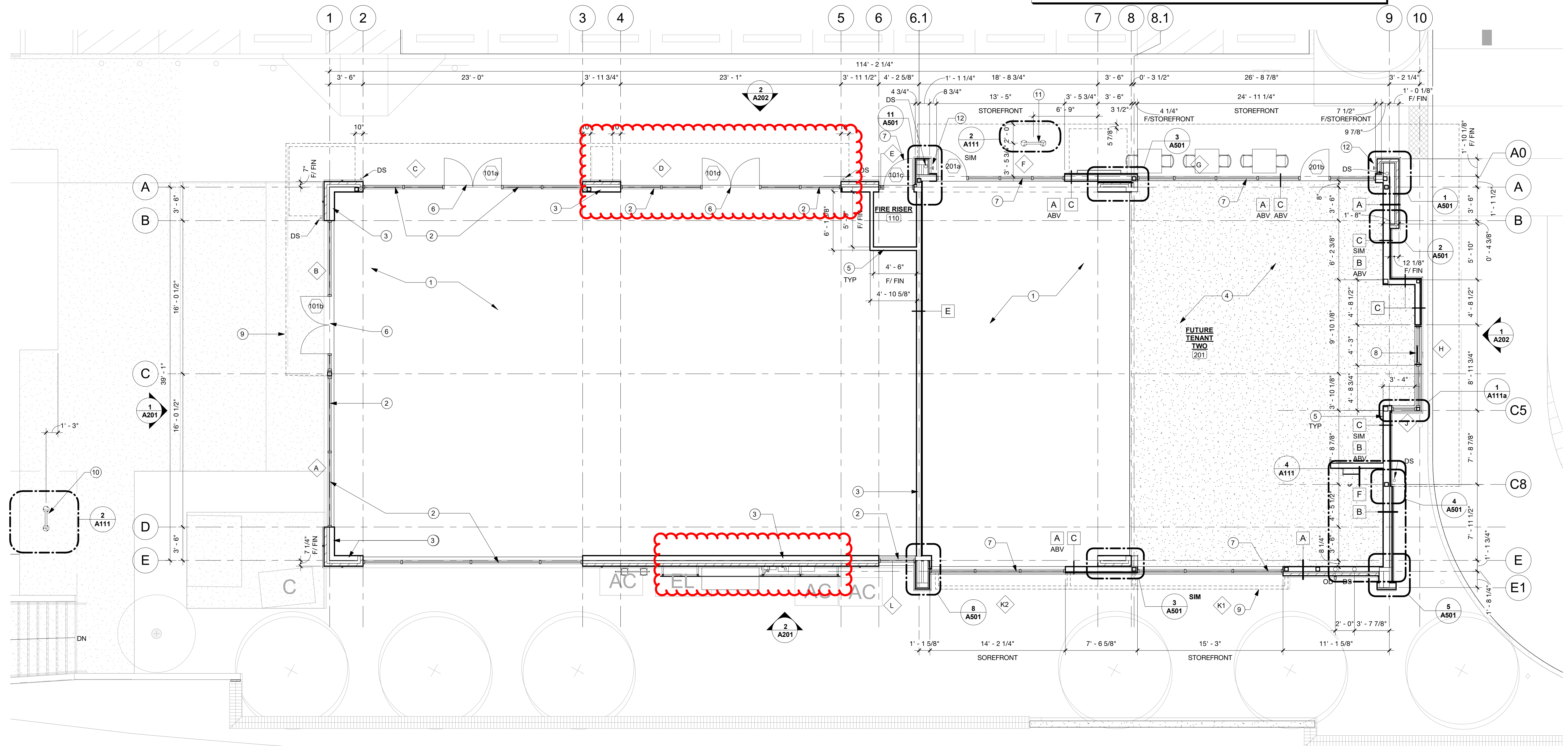
**4 ENLARGED ROOF LADDER WALL**  
3/8" = 1'-0"

**3 BIKE RACK ELEVATION**  
3/4" = 1'-0"

**2 ENLARGED BIKE RACK PLAN**  
3/4" = 1'-0"

- GENERAL NOTE**
1. PROVIDE CLEANOUT AT BASE OF DOWNSPOUTS, TYP
  2. ALL SHEET METAL IS TO BE PREFINISHED, UNLESS OTHERWISE NOTED ON THE DRAWINGS
  3. CONTRACTOR TO COORDINATE W/OWNER AND DESIGN BUILD SUBCONTRACTORS TO PROVIDE UTILITY STUBS. COORDINATE LOCATIONS W/OWNER AND TENANT'S T.I. DRAWINGS TO TERMINATE UTILITIES MINIMUM 24" AFF FOR FUTURE TENANT TIE-IN. ROUTE STUBS WITHIN FRAMED WALL CAVITY. NO VISIBLE AND/OR CONDUIT SHALL BE ALLOWED ON THE EXTERIOR OF THE BUILDING.
  4. CONTRACTOR TO COORDINATE UTILITY REQUIREMENTS WITH TENANT WORK LETTER
  5. EXTERIOR PIPE PENETRATIONS TO BE STAINLESS STEEL UNLESS NOTED OTHERWISE.
  6. COORDINATE WITH TENANT ROUGH-IN PRIOR TO INSTALLING GWB AND FLOOR SLAB.
  7. RUN DOWNSPOUTS WITHIN CAVITY OF FRAMED WALLS.
  8. CONTRACTOR TO COORDINATE WITH DESIGN BUILD SUBCONTRACTORS TO VERIFY EQUIPMENT SIZE AND ENSURE ALL REQUIRED CLEARANCES AROUND EQUIPMENT ARE MAINTAINED. NOTIFY ARCHITECT OF ANY NECESSARY REVISIONS.
  9. CONTRACTOR TO COORDINATE W/DESIGN BUILD MECHANICAL AND UTILITY PROVIDER ON FINAL LOCATION OF GAS METER.
  10. PROVIDE GROUND-POLISHED FINISH AT STARBUCKS SLAB. COORD W/ TENANT T.I. DRAWINGS.
  11. PROVIDE STARBUCKS TENANT APPROVED SCHIER FOG INTERCEPTOR BELOW SLAB AT LOCATION OF THE FUTURE TENANT'S 3 COMPARTMENT SINK. COORDINATE WITH TENANT T.I. DRAWINGS. GC TO UTILIZE STARBUCKS NATIONAL PURCHASING PROGRAM FOR PROCUREMENT AND SPECIFYING REQUIRED UNIT.
  12. PROVIDE 400A 208Y/120V, 3PH, 4 WIRE ELECTRICAL SERVICE WITH (2) SQUARE D OR EQUAL PANELS, MINIMUM 66 CIRCUIT SPACES EACH. PROVIDE SUB-FEED LUGS IN ONE PANEL TO FEED THE OTHER. PROVIDE BREAKERS PER TENANT T.I. DRAWINGS, APPROX 70% GFI. GC TO COORDINATE FINAL LOCATION WITH TENANT T.I. DRAWINGS.
  13. PROVIDE ELECTRICAL CONNECTION FOR LEC FIBER NODE WITH BACKER BOARD. PROVIDE (2) CONDUIT PATHWAYS FOR VOICE CABLING AND INTERNET CABLING. PROVIDE 4" CONDUIT WITH PULL STRING FOR DATA SERVICE ENTERING SPACE.
  14. ALL NEW WALL AND CEILING FINISHES TP COMPLY WITH OSSC 2019 SECTION 803.
  15. ALL DIMENSION ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.

- KEYNOTE**
- 1 EXISTING SLAB TO REMAIN, PROTECT DURING CONSTRUCTION
  - 2 EXISTING STOREFRONT TO REMAIN, PROTECT DURING CONSTRUCTION
  - 3 EXISTING WALLS TO REMAIN, PROTECT DURING CONSTRUCTION
  - 4 NEW SLAB ON GRADE. SEE STRUCTURAL
  - 5 NEW FRAMED WALL
  - 6
  - 7 NEW STOREFRONT SYSTEM
  - 8 NEW DRIVE THRU WINDOW, READY ACCESS AIR 100 PASS-THRU AIR CURTAIN SYSTEM, PER TENANT WINDOW SPECIFICATIONS, PROVIDE (1) DEDICATED 40A 208/240 SINGLE PHASE CIRCUIT FOR AIR CURTAIN SYSTEM
  - 9 LINE OF NEW CANOPY ABOVE
  - 10 NEW SHORT TERM BIKE PARKING (2)
  - 11 NEW LONG TERM BIKE PARKING (2)
  - 12 NEW LOCKABLE HOSE BIB



**1 FLOOR PLAN**  
3/16" = 1'-0"



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

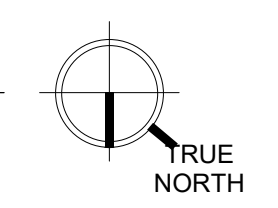
PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

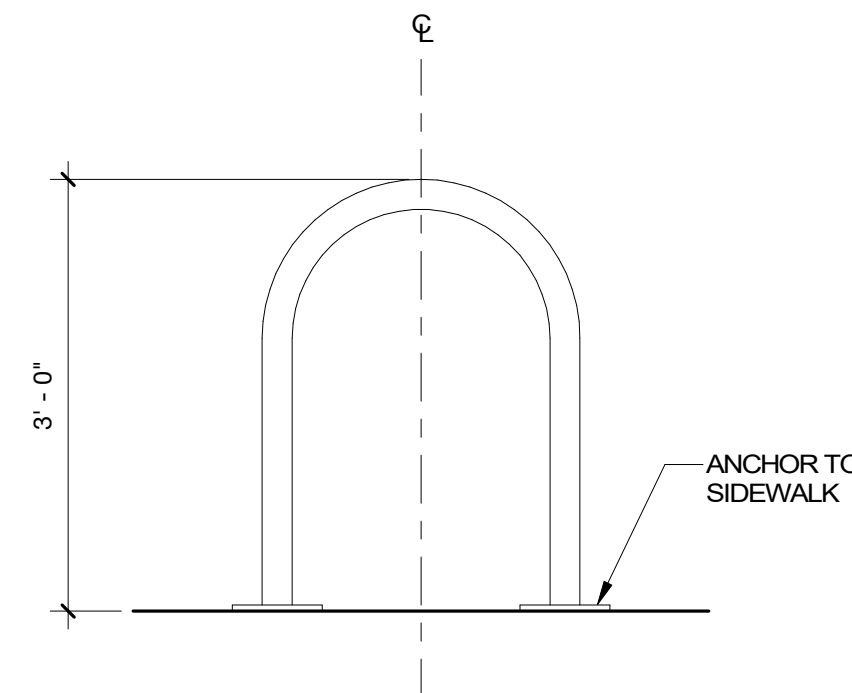
Issued / Revised

**PK 21052**  
Original Issue: 01.15.2024  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

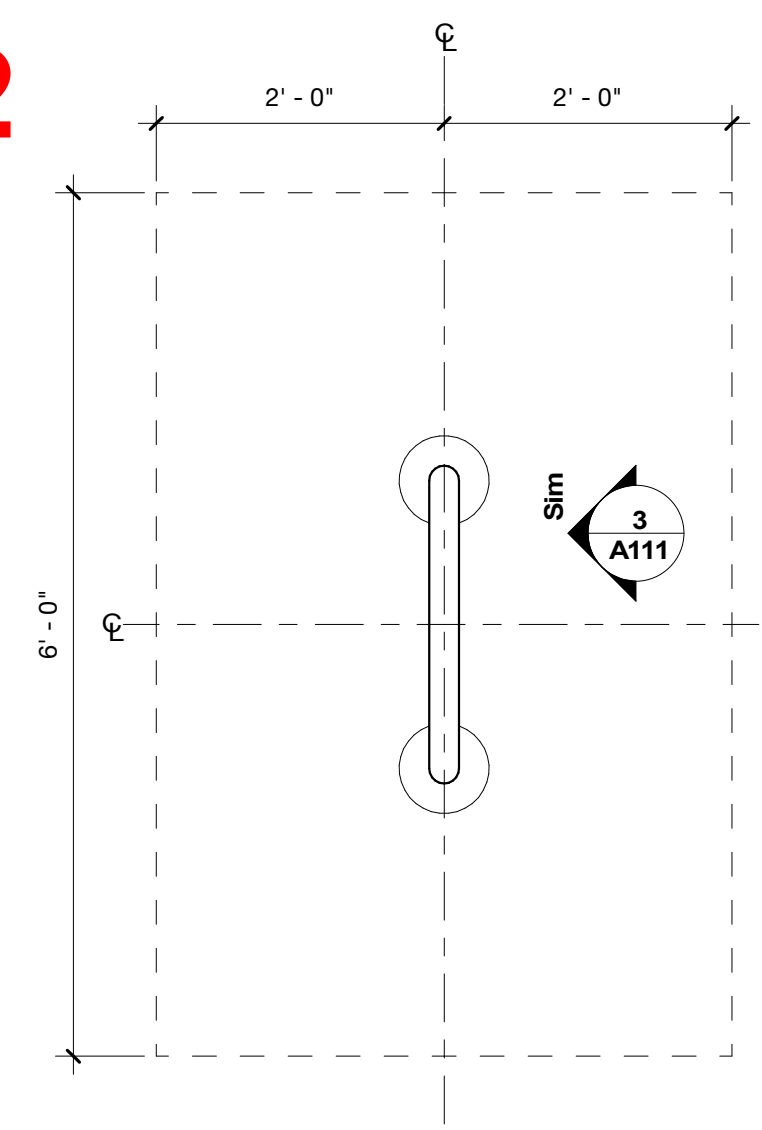
**FLOOR PLAN**

**A111**  
DESIGN REVIEW





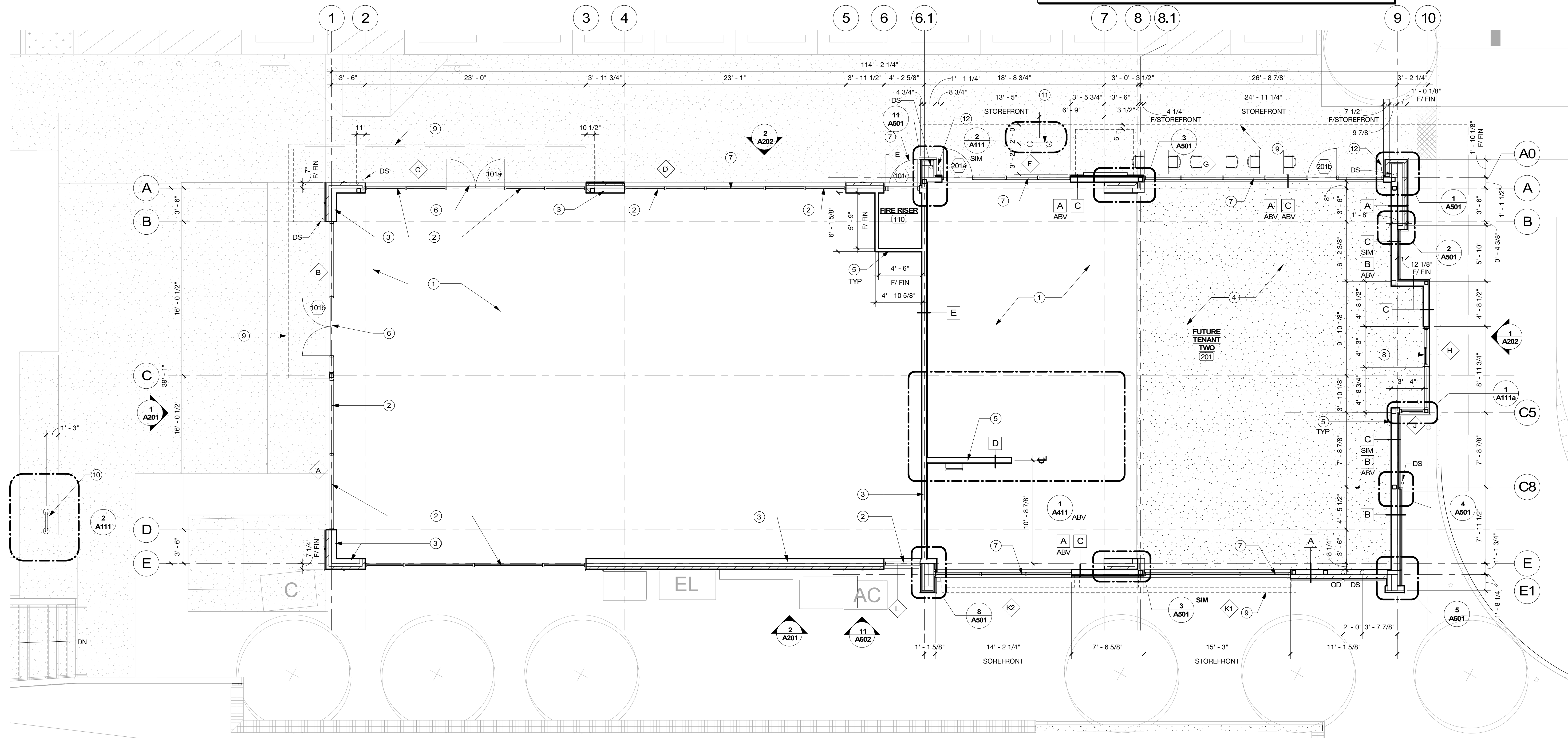
**3 BIKE RACK ELEVATION**  
A111 3/4" = 1'-0"



**2 ENLARGED BIKE RACK PLAN**  
A111 3/4" = 1'-0"

- GENERAL NOTE**
1. PROVIDE CLEANOUT AT BASE OF DOWNSPOUTS, TYP
  2. ALL SHEET METAL IS TO BE PREFINISHED, UNLESS OTHERWISE NOTED ON THE DRAWINGS
  3. CONTRACTOR TO COORDINATE W/OWNER AND DESIGN BUILD SUBCONTRACTORS TO PROVIDE UTILITY STUBS. COORDINATE LOCATIONS W/OWNER AND TENANT'S T.I. DRAWINGS TO TERMINATE UTILITIES MINIMUM 24" AFF FOR FUTURE TENANT TIE-IN. ROUTE STUBS WITHIN FRAMED WALL CAVITY. NO VISIBLE AND/OR CONDUIT SHALL BE ALLOWED ON THE EXTERIOR OF THE BUILDING.
  4. CONTRACTOR TO COORDINATE UTILITY REQUIREMENTS WITH TENANT WORK LETTER
  5. EXTERIOR PIPE PENETRATIONS TO BE STAINLESS STEEL UNLESS NOTED OTHERWISE.
  6. COORDINATE WITH TENANT ROUGH-IN PRIOR TO INSTALLING GWB AND FLOOR SLAB.
  7. RUN DOWNSPOUTS WITHIN CAVITY OF FRAMED WALLS.
  8. CONTRACTOR TO COORDINATE WITH DESIGN BUILD SUBCONTRACTORS TO VERIFY EQUIPMENT SIZE AND ENSURE ALL REQUIRED CLEARANCES AROUND EQUIPMENT ARE MAINTAINED. NOTIFY ARCHITECT OF ANY NECESSARY REVISIONS.
  9. CONTRACTOR TO COORDINATE W/DESIGN BUILD MECHANICAL AND UTILITY PROVIDER ON FINAL LOCATION OF GAS METER.
  10. PROVIDE GROUND-POLISHED FINISH AT STARBUCKS SLAB. COORD W/ TENANT T.I. DRAWINGS.
  11. PROVIDE STARBUCKS TENANT APPROVED SCHIER FOG INTERCEPTOR BELOW SLAB AT LOCATION OF THE FUTURE TENANT'S 3 COMPARTMENT SINK. COORDINATE WITH TENANT T.I. DRAWINGS. GC TO UTILIZE STARBUCKS NATIONAL PURCHASING PROGRAM FOR PROCUREMENT AND SPECIFYING REQUIRED UNIT.
  12. PROVIDE 400A 208Y/120V, 3PH, 4 WIRE ELECTRICAL SERVICE WITH (2) SQUARE D OR EQUAL PANELS, MINIMUM 66 CIRCUIT SPACES EACH. PROVIDE SUB-FEED LUGS IN ONE PANEL TO FEED THE OTHER. PROVIDE BREAKERS PER TENANT T.I. DRAWINGS, APPROX 70% GFI. GC TO COORDINATE FINAL LOCATION WITH TENANT T.I. DRAWINGS.
  13. PROVIDE ELECTRICAL CONNECTION FOR LEC FIBER NODE WITH BACKER BOARD. PROVIDE (2) CONDUIT PATHWAYS FOR VOICE CABLING AND INTERNET CABLING. PROVIDE 4" CONDUIT WITH PULL STRING FOR DATA SERVICE ENTERING SPACE.
  14. ALL NEW WALL AND CEILING FINISHES TP COMPLY WITH OSSC 2019 SECTION 803.
  15. ALL DIMENSION ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.

- KEYNOTE**
- 1 EXISTING SLAB TO REMAIN, PROTECT DURING CONSTRUCTION
  - 2 EXISTING STOREFRONT TO REMAIN, PROTECT DURING CONSTRUCTION
  - 3 EXISTING WALLS TO REMAIN, PROTECT DURING CONSTRUCTION
  - 4 NEW SLAB ON GRADE. SEE STRUCTURAL
  - 5 NEW FRAMED WALL
  - 6 NEW STOREFRONT DOOR
  - 7 NEW STOREFRONT SYSTEM
  - 8 NEW DRIVE THRU WINDOW, READY ACCESS AIR 100 PASS-THRU AIR CURTAIN SYSTEM, PER TENANT WINDOW SPECIFICATIONS, PROVIDE (1) DEDICATED 40A 208/240 SINGLE PHASE CIRCUIT FOR AIR CURTAIN SYSTEM
  - 9 LINE OF NEW CANOPY ABOVE
  - 10 NEW SHORT TERM BIKE PARKING (2)
  - 11 NEW LONG TERM BIKE PARKING (2)
  - 12 NEW LOCKABLE HOSE BIB



**1 FLOOR PLAN**  
A111 3/16" = 1'-0"



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



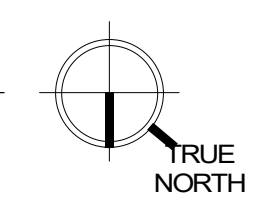
Well-crafted simplicity.

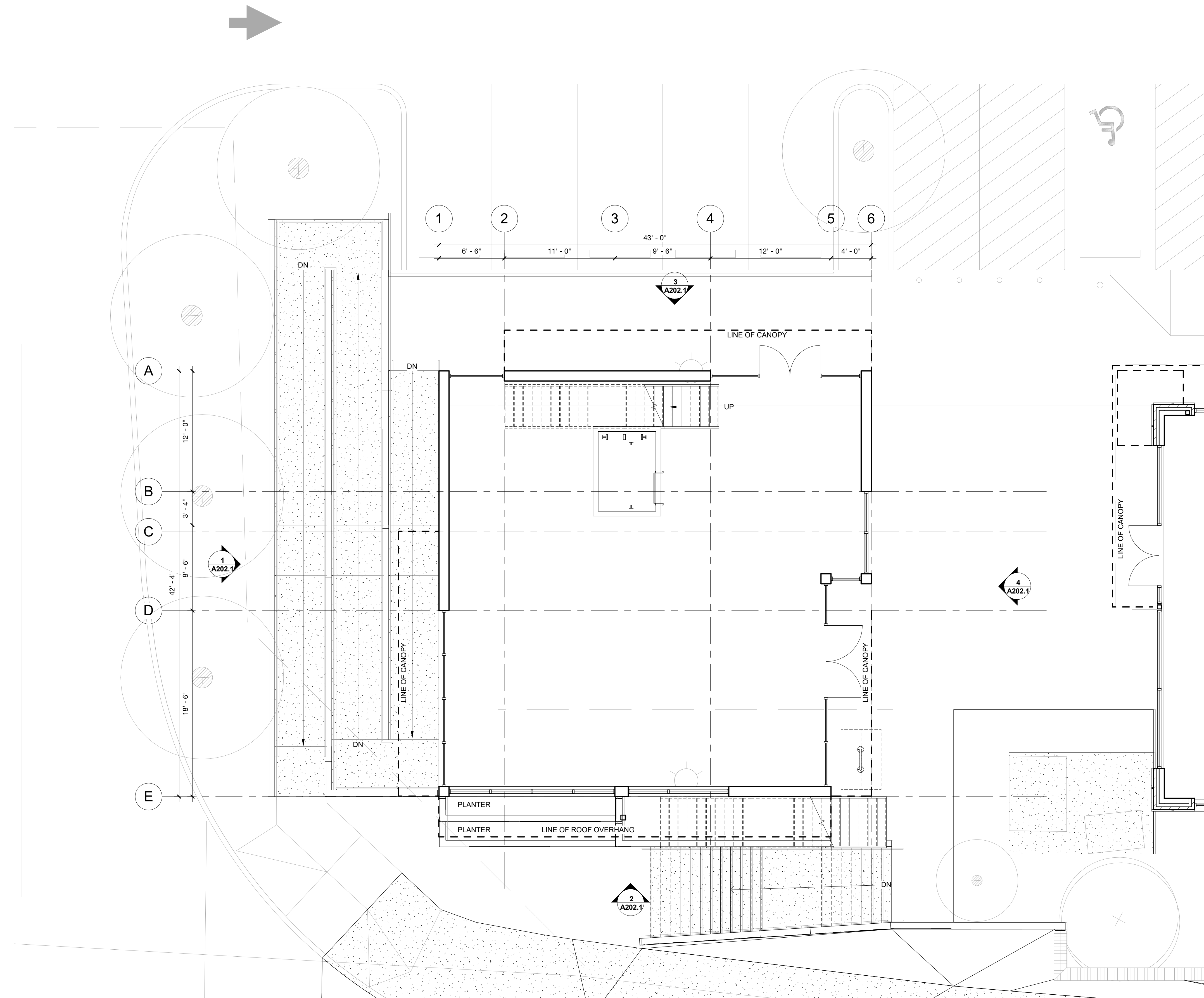
PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

**PK 21052**  
Original Issue: 11/02/22  
Drawn/Checked By: XXX / XXX  
© 2023 Baysinger Partners Architecture

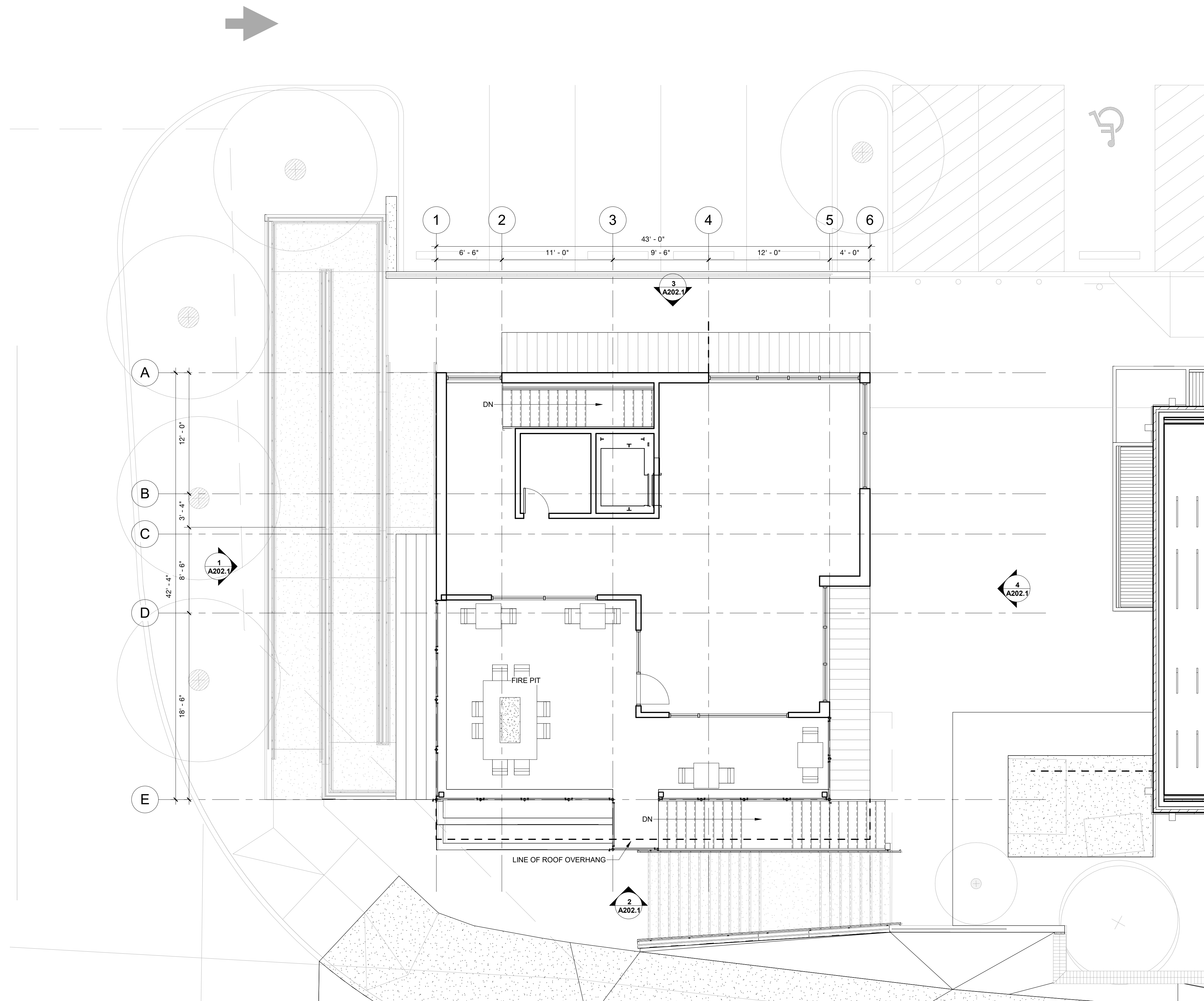
**FLOOR PLAN**

**A111**  
DESIGN REVIEW





**1**  
**A112**  
**CORNER BLDG 1ST FLOOR**  
 3/16" = 1'-0"



**1**  
**A113** CORNER BLDG 2ND FLOOR  
 3/16" = 1'-0"

### ROOF DRAIN SIZE CALCULATIONS

ROOF AREA:	TENANT 1	TENANT 2	CANOPY		
	3,400 SF	1,020 SF	A	B	C
HOURLY RAINFALL:	2" / HR	2" / HR	385 SF	93 SF	466 SF
LEADER SIZE:	2" / HR	2" / HR	2" / HR	2" / HR	2" / HR
MAX AREA PER LEADER:	4,400 SF	1,400 SF	1,400 SF	1,400 SF	1,400 SF
REQUIRED NUMBER OF LEADERS:	ONE	ONE	ONE	ONE	ONE
NUMBER OF LEADERS PROVIDED:	TWO	ONE	ONE	ONE	ONE

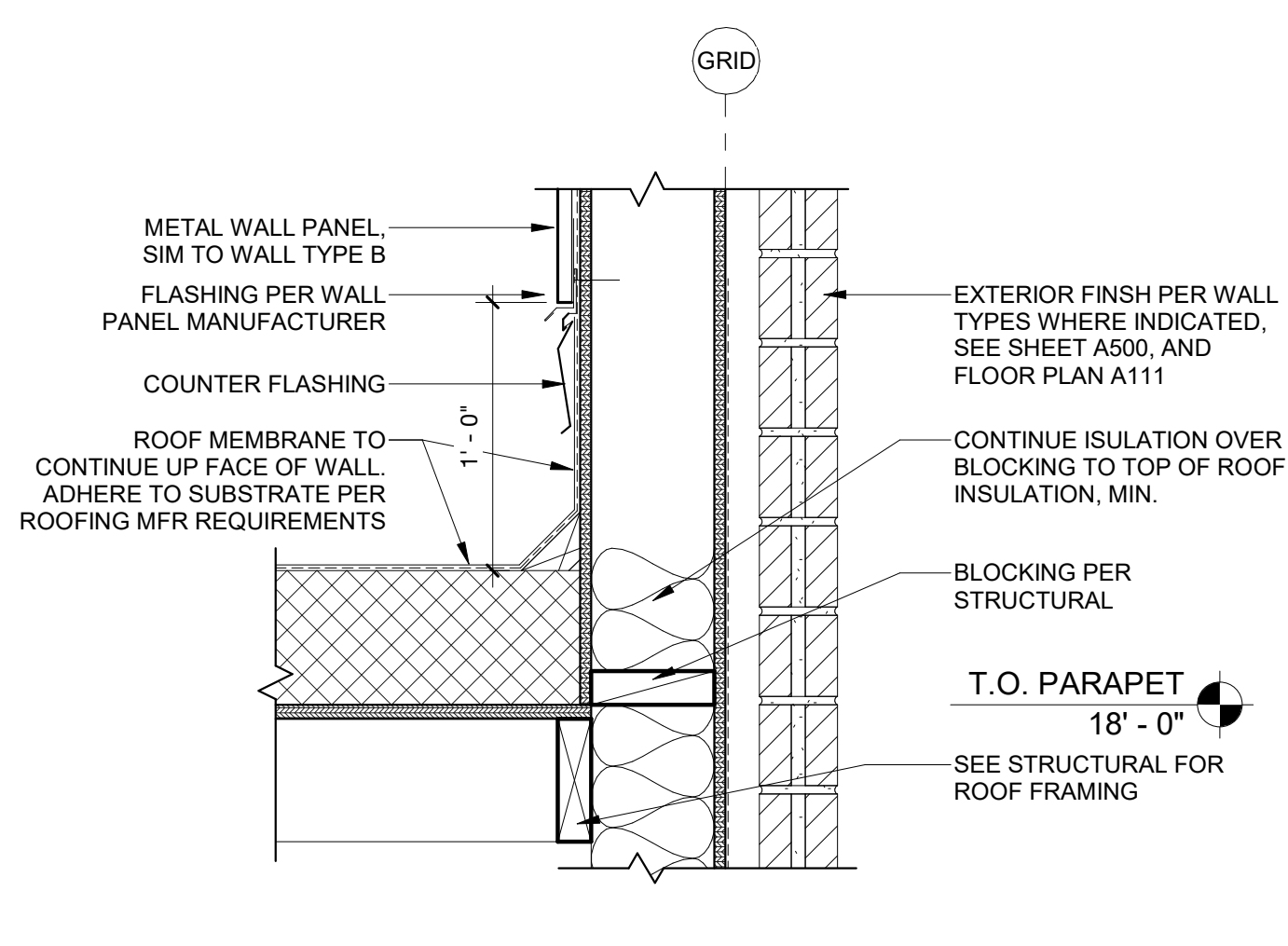
  

OREGON PLUMBING SPECIALTY CODE TABLE 11-1  
 SIZING ROOF DRAINS, LEADERS, AND VERTICAL RAINWATER PIPING

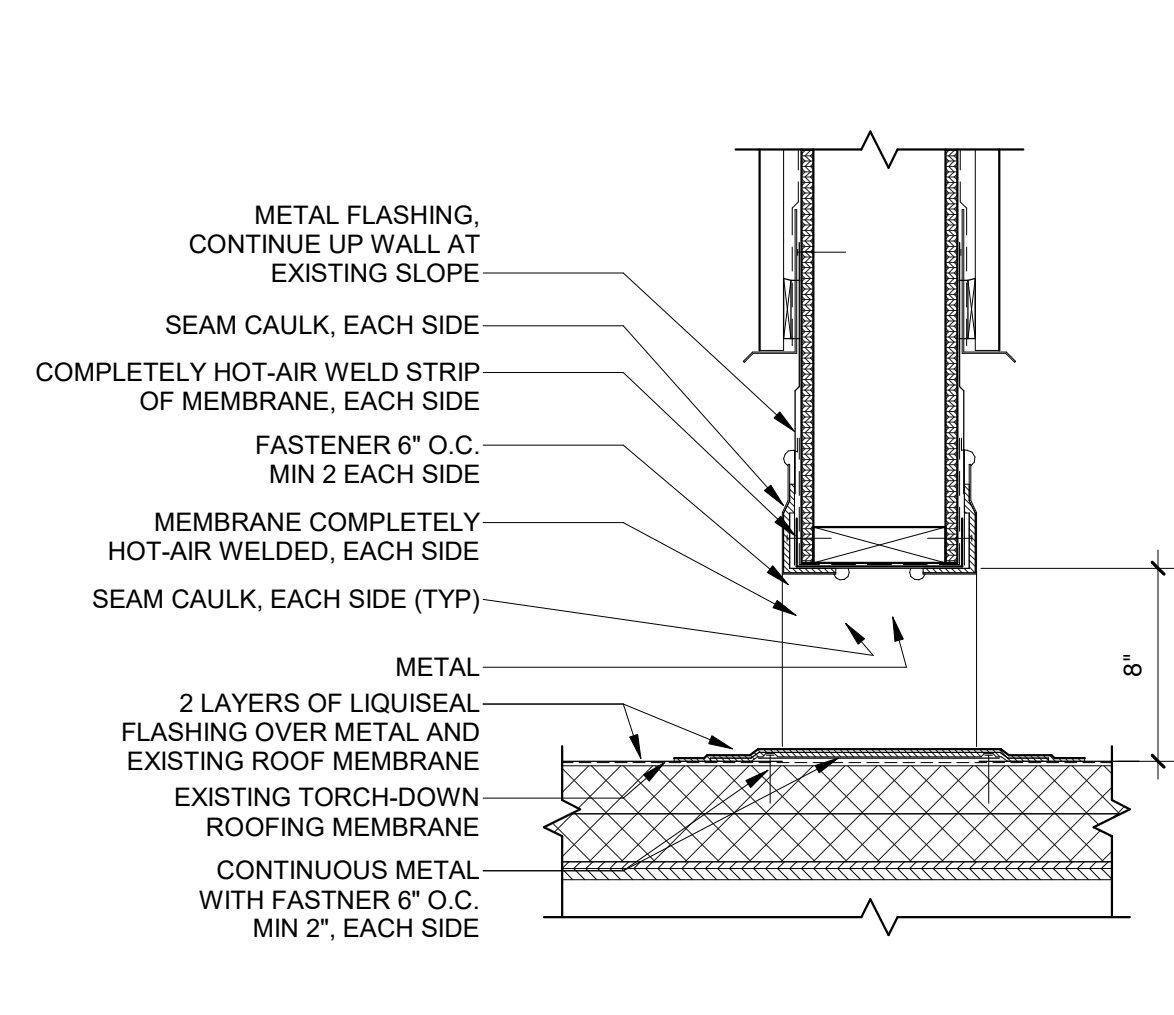
SIZE OF DRAIN, LEADER OR PIPE	GPM	FLOW RATE		
		1 IN/HR	2 IN/HR	3 IN/HR
2	30	2,880	1,400	960
3	92	8,800	4,400	2,930
4	192	18,400	9,200	6,130

- ### ROOF GENERAL NOTES
- VERIFY LOCATIONS OF ALL ROOF TOP EQUIPMENT PENETRATIONS REQUIRED BY OTHER TRADES. PROVIDE ALL FLASHINGS, ETC., AS REQUIRED BY MFR STANDARD DETAILS.
  - ROOF CONTRACTOR IS RESPONSIBLE TO BRING ANY ROOFING / FLASHING DETAIL QUESTIONS OR CONFLICTS W/ ROOFING MFR SPECIFICATIONS / DETAILS TO ARCHITECT PRIOR TO BIDDING.
  - GC SHALL INSPECT EXISTING ROOF CONDITION AND PROVIDE PROPER REPAIR AS NEEDED.
  - GC TO PROVIDE FALL PROTECTION IN COMPLIANCE WITH OSHA STANDARDS. COORDINATE WITH OWNER ON FINAL LOCATION OF TETHER POINTS.
  - GC SHALL INSPECT EXISTING DRAINAGE, GUTTERS AND DOWNSPOUTS ALONG DOWNSLOPE PERIMETER. REPAIR AS REQUIRED.
  - GC SHALL INSPECT ALL ROOF OPENING, REPAIR AS REQUIRED.
  - GC SHALL INSPECT IF ANY ROOF LEAKING MAY OCCUR, NOTIFY ARCHITECT AND OWNER IF THERE IS ANY MAJOR DAMAGE.
  - SEE TENANT IMPROVEMENT MECHANICAL DRAWINGS FOR FINAL LOCATION OF HVAC ROOF TOP UNITS AND EQUIPMENT. TENANTS TO COORDINATE LOCATIONS SO AS TO BE CONCEALED FROM VIEW
  - GC TO INSTALL PLUMBING VENTS FOR FUTURE TENANT. COORDINATE LOCATIONS REQUIRED WITH TENANT'S T.I. DRAWINGS

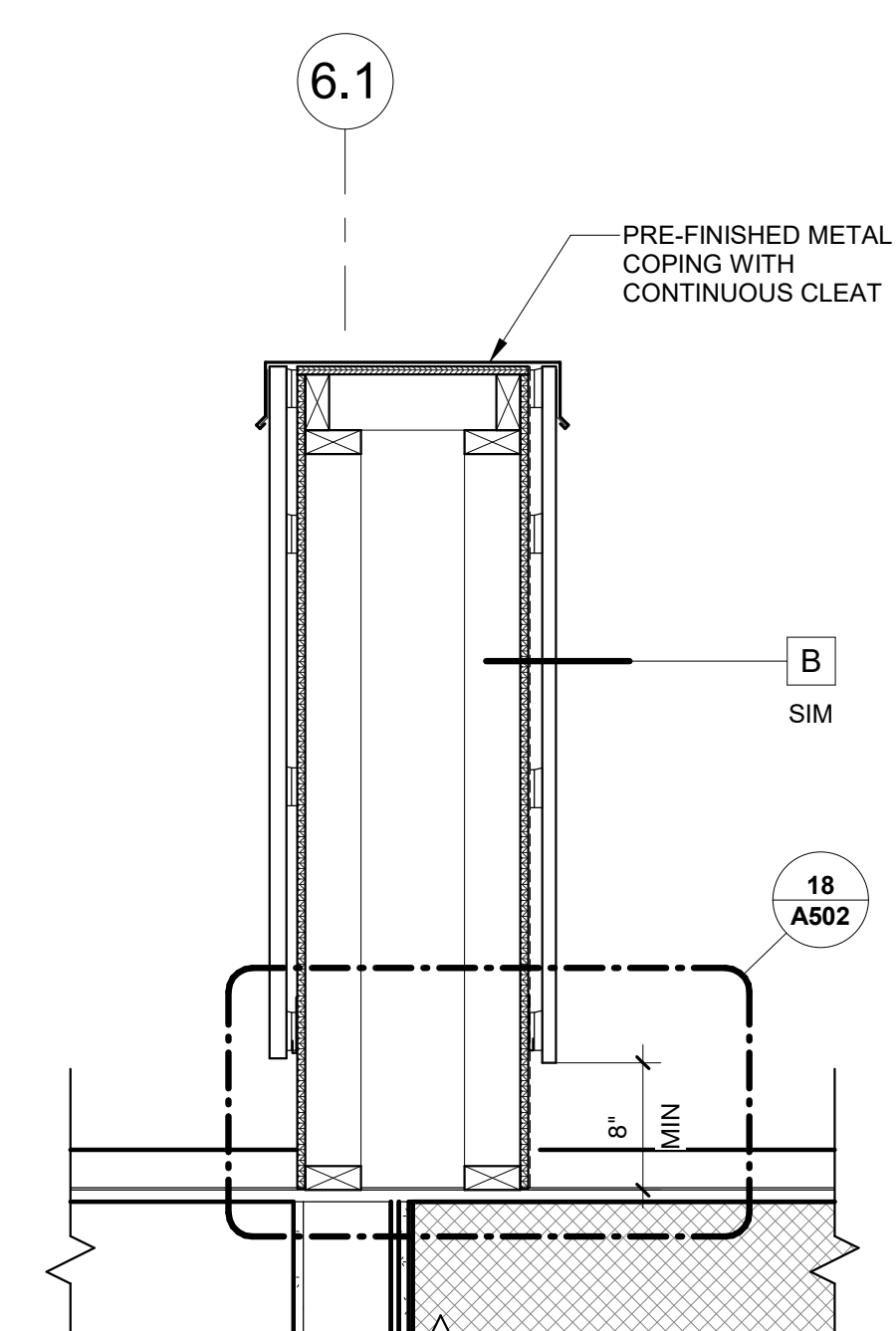
- ### KEYNOTE
- EXISTING STANDING SEAM ROOF
  - EXISTING PARAPET CAP. NEW PAINT, SEE ELEVATION
  - EXISTING MEMBRANE ROOFING
  - NEW MEMBRANE ROOFING
  - NEW CANOPY
  - NEW ROOF ELEMENT, MAIN BEAM AND CONNECTIONS AT ROOF ARE FIXED, RIBS ARE ABLE TO BE DETACHED FOR RTU PLACEMENT.
  - NEW ROOF DRAIN AND OVERFLOW DRAIN
  - PROVIDE THROUGH WALL SCUPPER FROM EXISTING ROOF TO NEW ROOF
  - NEW PARAPET CAP AND COPING
  - NEW RTUS, INCLUDING CURBS, STRUCTURAL ATTACHMENT, ELECTRICAL, PLUMBING AND GAS CONNECTIONS. CONTRACTOR TO USE STARBUCKS NATIONAL HVAC PURCHASING PROGRAM FOR UNIT PROCUREMENT. SEE TENANT WORK LETTER FOR ADDITIONAL INFORMATION.
  - BRACING PER STRUCTURAL. CONTINUE INSULATION AND ROOFING MEMBRANE UP TO WALL
  - APPROXIMATE LOCATION OF TENANT ICE MACHINE CONDENSER, COORDINATE WITH TENANT



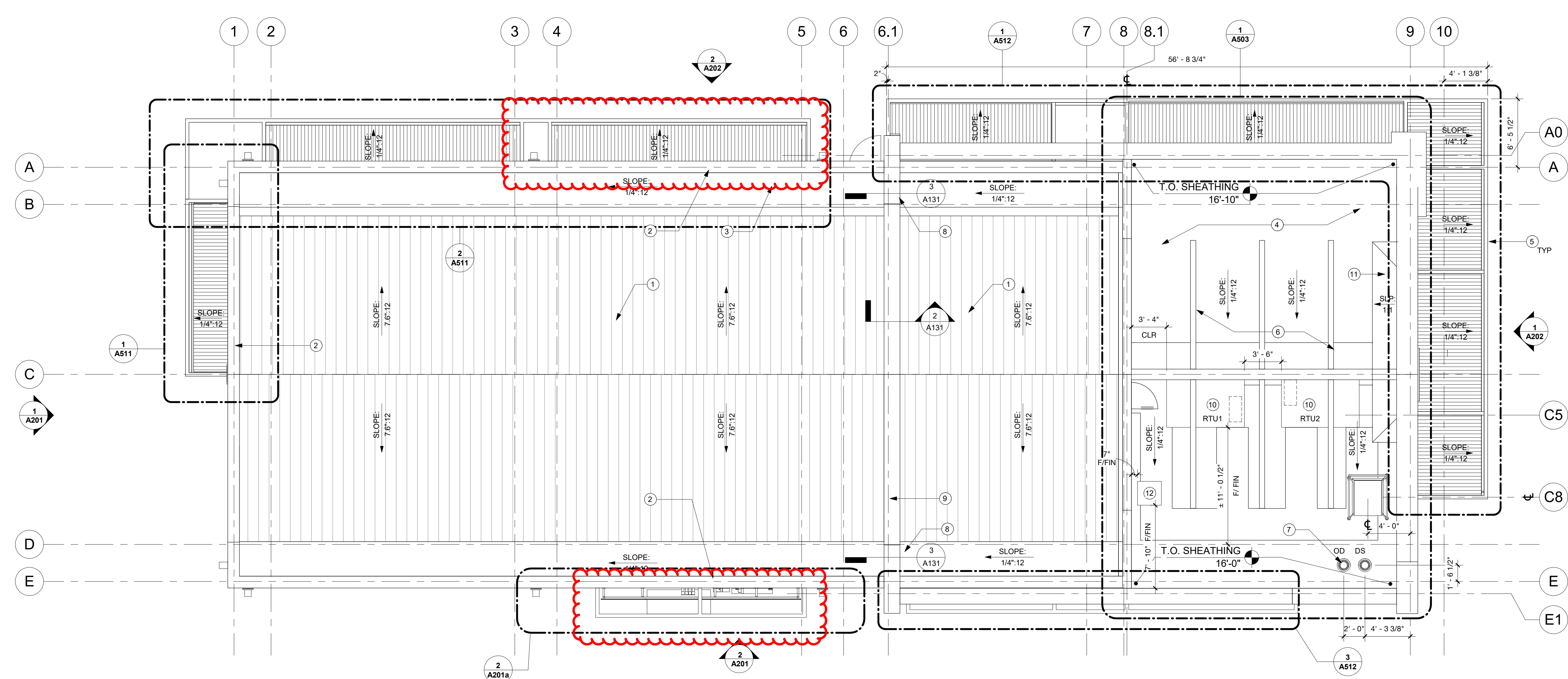
**4 ROOF CONNECTION DETAIL**  
 A131 1 1/2" = 1'-0"



**3 DETAIL - THROUGH WALL SCUPPER**  
 A131 1 1/2" = 1'-0"



**2 SECTION DETAIL AT GRID 6.1**  
 A131 1" = 1'-0"



**1 ROOF PLAN**  
 A131 3/16" = 1'-0"





# APPROVED UNDER DR2022-0008/LO2022-0002 AND LU12023-00442



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
TOWNE SQUARE  
STARBUCKS  
AND PAD

Issued / Revised  
RFI RESPONSES 10 05.31.23  
RFI RESPONSES 13 06.07.23

PK 21052  
Original Issue: 11/02/22  
Drawn/Checked By: Autho/Checker  
© 2023 Baysinger Partners Architecture

## ROOF PLAN

# A131

DESIGN REVIEW

## ROOF GENERAL NOTES

- VERIFY LOCATIONS OF ALL ROOF TOP EQUIPMENT PENETRATIONS REQUIRED BY OTHER TRADES. PROVIDE ALL FLASHINGS, ETC. AS REQUIRED BY MFR STANDARD DETAILS.
- ROOF CONTRACTOR IS RESPONSIBLE TO BRING ANY ROOFING / FLASHING DETAIL QUESTIONS OR CONFLICTS W/ ROOFING MFR SPECIFICATIONS / DETAILS TO ARCHITECT PRIOR TO BIDDING.
- GC SHALL INSPECT EXISTING ROOF CONDITION AND PROVIDE PROPER REPAIR AS NEEDED.
- GC TO PROVIDE FALL PROTECTION IN COMPLIANCE WITH OSHA STANDARDS. COORDINATE WITH OWNER ON FINAL LOCATION OF TETHER POINTS.
- GC SHALL INSPECT EXISTING DRAINAGE, GUTTERS AND DOWNSPOUTS ALONG DOWNSLOPE PERIMETER. REPAIR AS REQUIRED.
- GC SHALL INSPECT ALL ROOF OPENING, REPAIR AS REQUIRED.
- GC SHALL INSPECT IF ANY ROOF LEAKING MAY OCCUR, NOTIFY ARCHITECT AND OWNER IF THERE IS ANY MAJOR DAMAGE.
- SEE TENANT IMPROVEMENT MECHANICAL DRAWINGS FOR FINAL LOCATION OF HVAC ROOF TOP UNITS AND EQUIPMENT. TENANTS TO COORDINATE LOCATIONS SO AS TO BE CONCEALED FROM VIEW
- GC TO INSTALL PLUMBING VENTS FOR FUTURE TENANT. COORDINATE LOCATIONS REQUIRED WITH TENANT'S T.I. DRAWINGS

## ROOF DRAIN SIZE CALCULATIONS

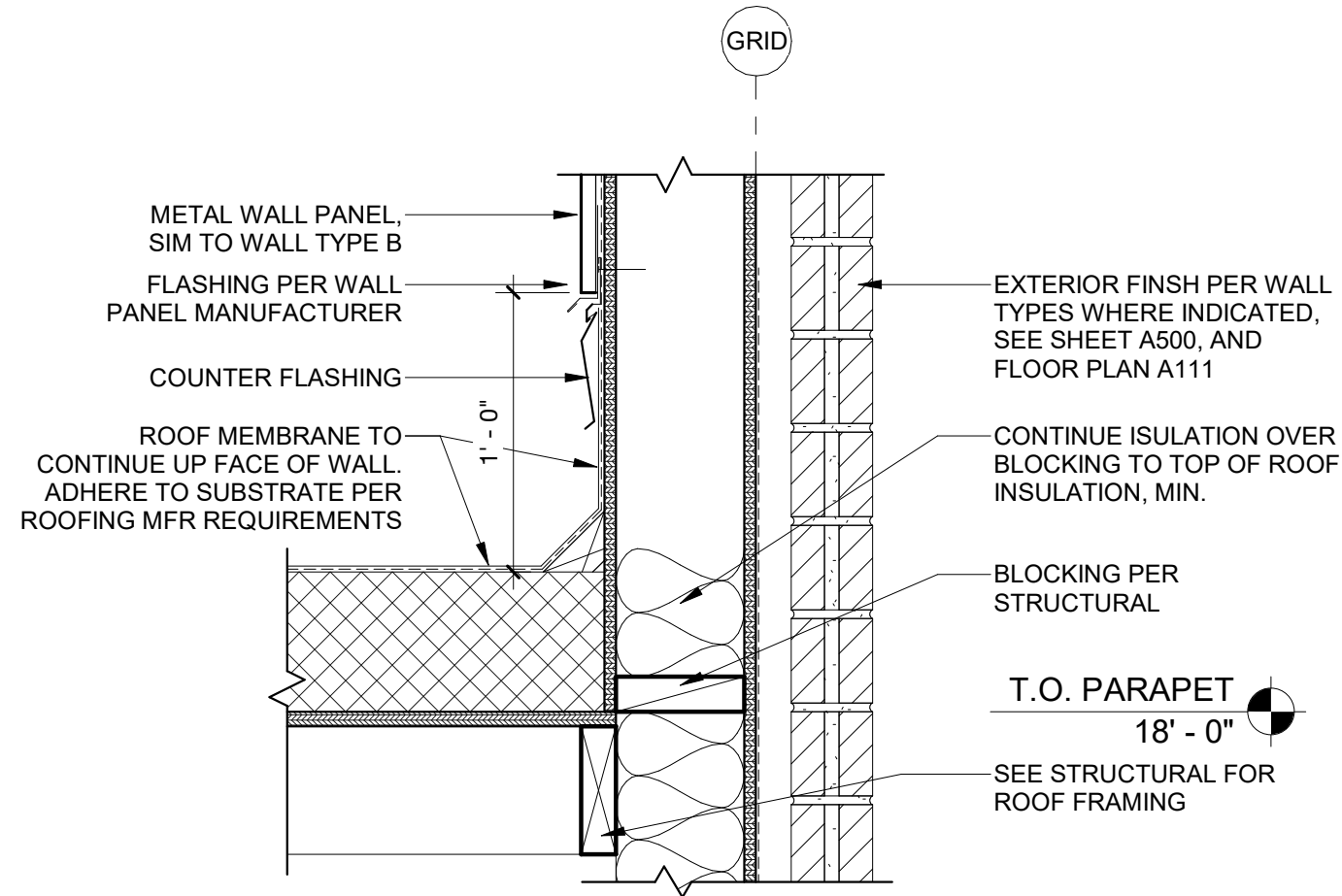
ROOF AREA:	TENANT 1	TENANT 2	CANOPY		
	A	B	A	B	C
HOURLY RAINFALL:	3,400 SF	1,020 SF	385 SF	93 SF	466 SF
LEADER SIZE:	2" / HR	2" / HR	2" / HR	2" / HR	2" / HR
MAX AREA PER LEADER:	4,400 SF	1,400 SF	1,400 SF	1,400 SF	1,400 SF
REQUIRED NUMBER OF LEADERS:	ONE	ONE	ONE	ONE	ONE
NUMBER OF LEADERS PROVIDED:	TWO	ONE	ONE	ONE	ONE

OREGON PLUMBING SPECIALTY CODE TABLE 11-1  
SIZING ROOF DRAINS, LEADERS, AND VERTICAL RAINWATER PIPING

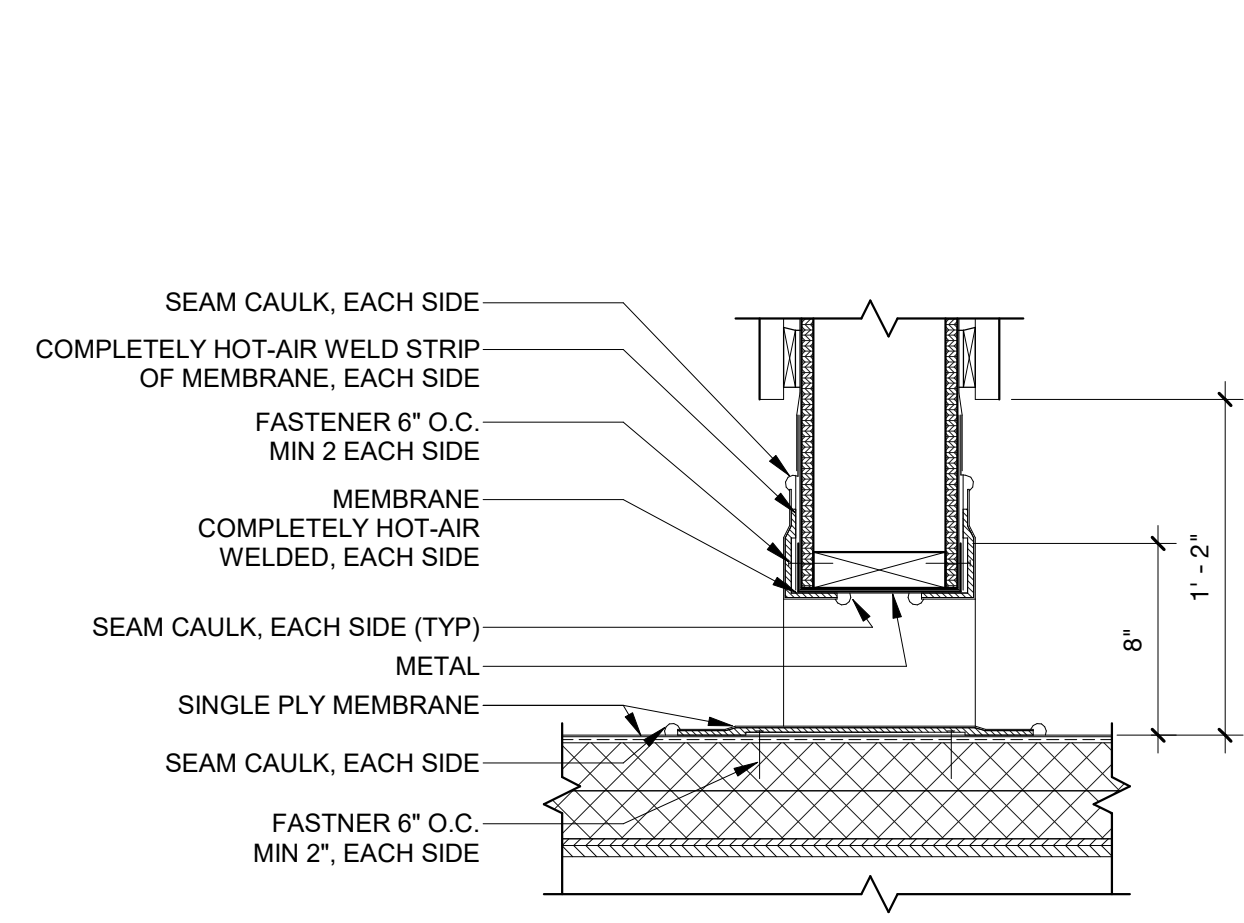
SIZE OF DRAIN, LEADER OR PIPE	GPM	FLOW RATE		
		1 IN/HR	2 IN/HR	3 IN/HR
2	30	2,880	1,400	960
3	92	8,800	4,400	2,930
4	192	18,400	9,200	6,130

## KEYNOTE

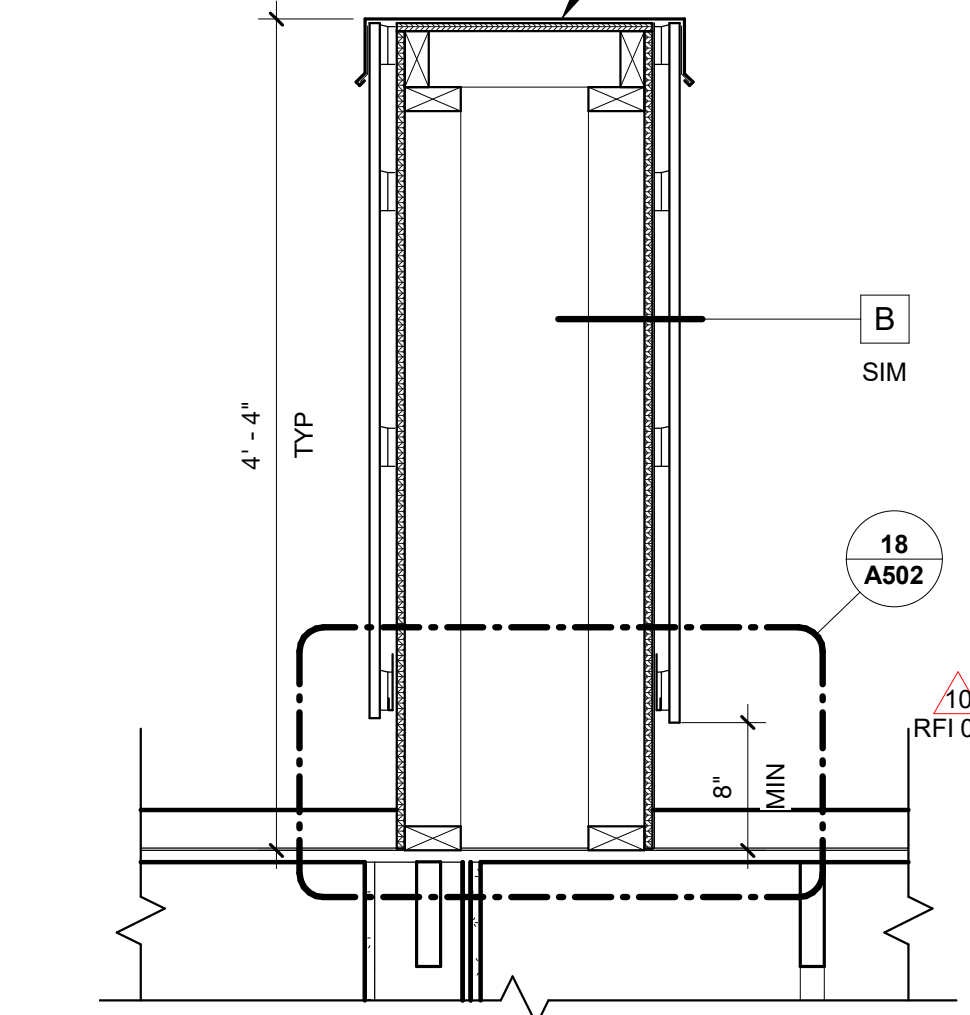
- EXISTING STANDING SEAM ROOF
- EXISTING PARAPET CAP. NEW PAINT, SEE ELEVATION
- EXISTING MEMBRANE ROOFING
- NEW MEMBRANE ROOFING
- NEW CANOPY
- NEW ROOF ELEMENT, MAIN BEAM AND CONNECTIONS AT ROOF ARE FIXED, RIBS ARE ABLE TO BE DETACHED FOR RTU PLACEMENT.
- NEW ROOF DRAIN AND OVERFLOW DRAIN
- PROVIDE THROUGH WALL SCUPPER FROM EXISTING ROOF TO NEW ROOF
- NEW PARAPET CAP AND COPING
- NEW RTUS, INCLUDING CURBS, STRUCTURAL ATTACHMENT, ELECTRICAL, PLUMBING AND GAS CONNECTIONS. CONTRACTOR TO USE STARBUCKS NATIONAL HVAC PURCHASING PROGRAM FOR UNIT PROCUREMENT. SEE TENANT WORK LETTER FOR ADDITIONAL INFORMATION.
- BRACING PER STRUCTURAL, CONTINUE INSULATION AND ROOFING MEMBRANE UP TO WALL



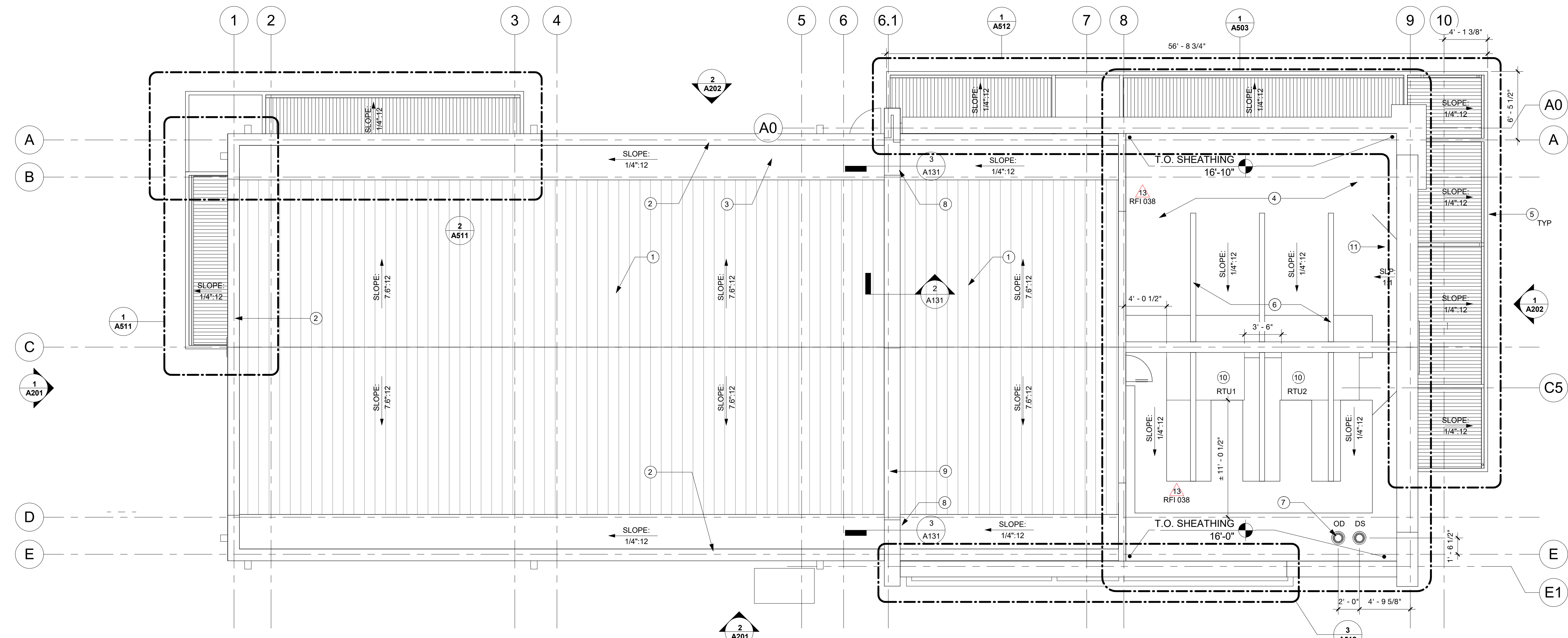
4 ROOF CONNECTION DETAIL  
A131 1 1/2" = 1'-0"



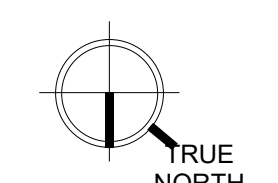
3 DETAIL - THROUGH WALL SCUPPER  
A131 1 1/2" = 1'-0"

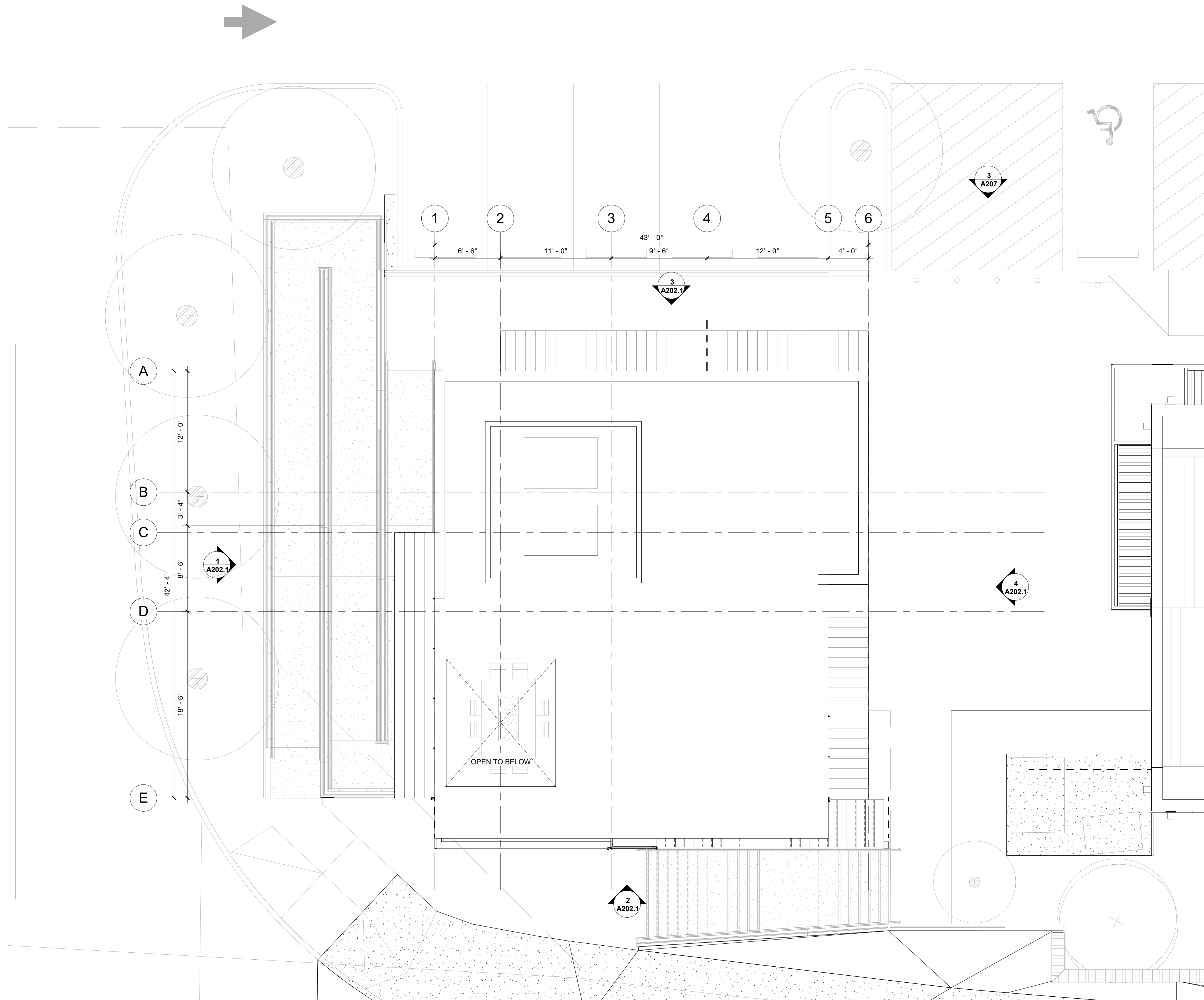


2 SECTION DETAIL AT GRID 6.1  
A131 1" = 1'-0"



1 ROOF PLAN  
A131 3/16" = 1'-0"





**1**  
**A132** **CORNER BLDG ROOF PLAN**  
 3/16" = 1'-0"

KEYNOTE

- 1 EXISTING ELECTRICAL EQUIPMENT
- 2 REPAINT EXISTING METAL ROOF
- 3 REPAINT EXISTING BRICK WALL
- 4 EXISTING STOREFRONT
- 5 GABLE VENT
- 6 EXISTING ACCENT AND LIGHT, PREPARE METAL FOR NEW PAINT
- 7 FRAMED ROOF ELEMENT
- 8 NEW ROOF ELEMENT, MAIN BEAM AND CONNECTIONS AT ROOF ARE FIXED, RIBS ARE ABLE TO BE DETACHED FOR RTU PLACEMENT.
- 9 NEW BRICK VENEER
- 10 NEW CEDAR SIDING, SHIPLAP (TIGHT FIT)
- 11 NEW STOREFRONT
- 12 NEW STOREFRONT DOOR TO MATCH EXISTING SYSTEM
- 13 NEW METAL CANOPY
- 14 PAINT WALL ACCENT - DARK GRAY
- 15 REPAINT EXISTING PARAPET CAP/COPING
- 16 NOT USED
- 17 APPROXIMATE LINE OF ROOF
- 18 NEW PARAPET CAP
- 19 PAINT NEW CONCRETE CURB
- 20 NEW VERTICAL METAL PANEL SIDING
- 21 PROVIDE BLOCKING, JUNCTION BOXES AND CONDUIT WITH PULL STRING FOR FUTURE TENANT SIGNAGE. COORDINATE W/ TENANT'S FINAL SIGN LAYOUT FOR LOCATIONS
- 22 OVERFLOW DOWNSPOUT LAMBS TONGUE
- 23 INSTALL RIDGE VENT LENGTH OF NEW PEAKED ROOF

ELEVATION DESIGN GUIDELINES - BUILDING 'I'

WINDOW AREA  
GROUND FLOOR FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA AND STREET FACING FACADES  
GUIDELINE: WALL AREA MEASURED FROM 3' - 10" ABOVE GRADE, WINDOWS MEASURED FROM 0'-12" ABOVE GRADE TO EQUAL 50%.  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION FROM 30% TO 50%

FACADE	WALL AREA FROM 3'-10"	WINDOW AREA FROM 0'-12"	PERCENTAGE
NORTH WALL AREA (STREET):	805 SF	454 SF	56.4%
SOUTH WALL AREA (WALKWAY):	805 SF	890 SF	110.5%
WEST WALL AREA (DRIVE-THRU):	281 SF	63 SF	22.4%*
EAST WALL AREA (PLAZA):	281 SF	318 SF	113.2%

ARTICULATION AREA  
STREET FACING FACADES AND PRIMARY BUILDING ENTRY ELEVATIONS  
GUIDELINE: 30% ARTICULATION BY:  
PROJECTIONS/RECESSES MINIMUM 18" DEEP  
MATERIAL CHANGES MINIMUM 2' WIDE AND MINIMUM 25 SF  
MAXIMUM SPACING OF 40' BETWEEN PERMANENT ARCHITECTURAL FEATURES  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION TO 50%

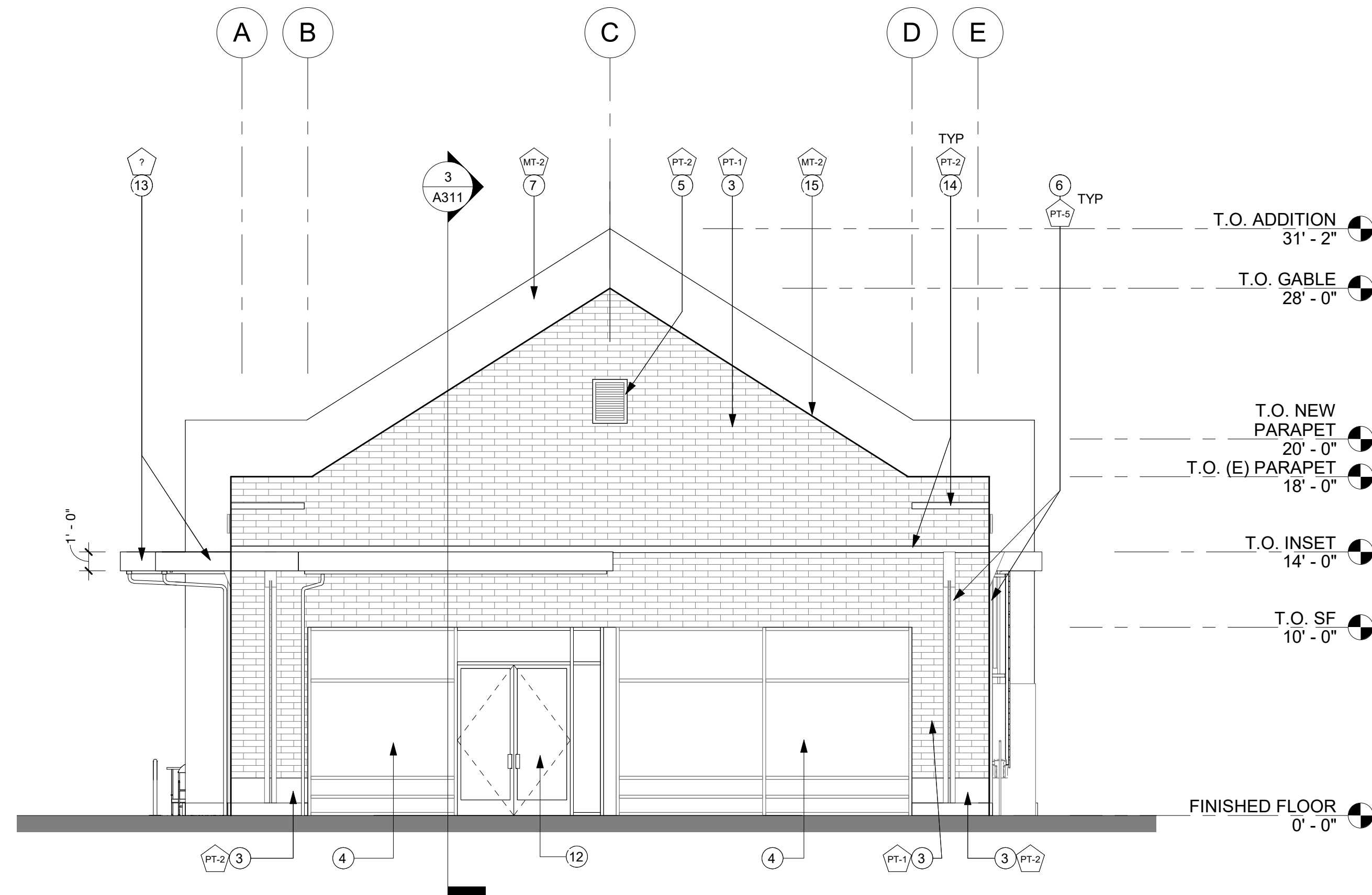
FACADE	WALL AREA FROM	ARTICULATION AREA	PERCENTAGE
NORTH WALL AREA (STREET):	3161 SF	968 SF	30.6%
SOUTH WALL AREA (WEST TENANT ENTRY):	1221 SF	338 SF	27.7%
WEST WALL AREA (DRIVE-THRU):	878 SF	814 SF	92.7%*
EAST WALL AREA (EAST TENANT ENTRY):	878 SF	318 SF	36.2%

WEATHER PROTECTION  
FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA OR BUILDING ENTRIES  
GUIDELINE: WEATHER PROTECTION 4" DEEP, MINIMUM 6" WIDE AT ENTRIES FOR 50% OF FACADE

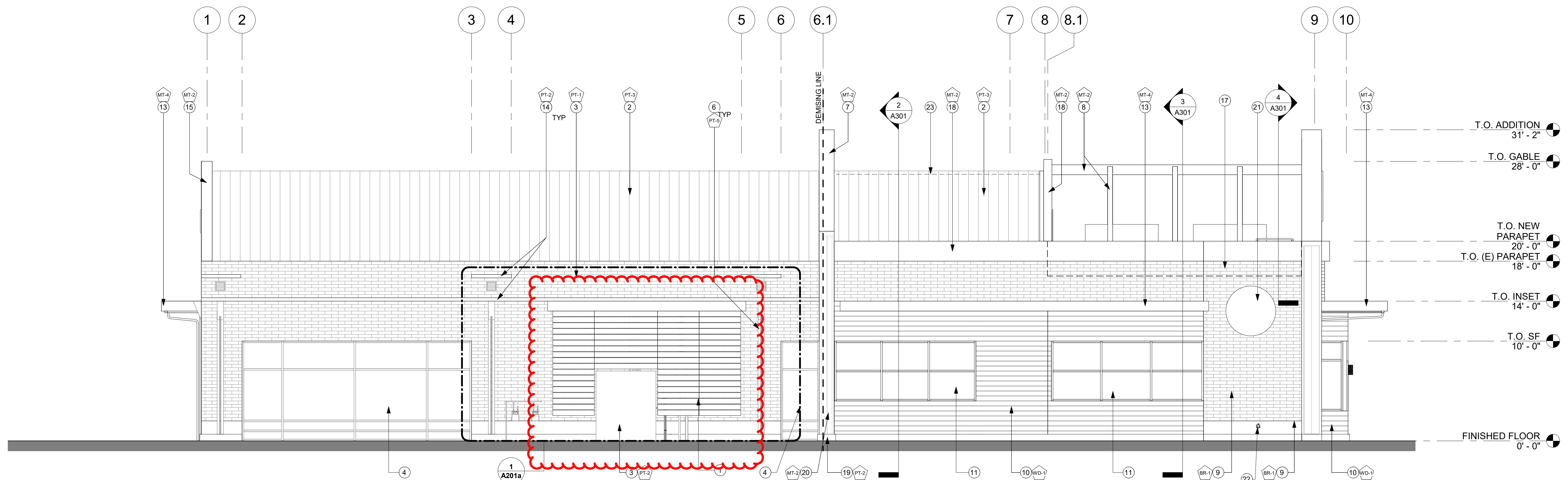
FACADE	PEDESTRIAN FACADE LF	WEATHER PROTECTION	PERCENTAGE
SOUTH WALL AREA (WEST TENANT ENTRY):	112'-0" LF	66'-9" LF X 4'-0" DEEP	59.3%
WEST TENANT'S ENTRY CANOPY WIDTH:		15'-3"	
EAST TENANT'S ENTRY CANOPY WIDTH:		23'-3"	
EAST WALL AREA (EAST TENANT ENTRY):	40'-0" LF	32'-0" LF X 12'-0" DEEP	80.0%
EAST TENANT'S ENTRY CANOPY WIDTH:		32'-0"	

EXTERIOR FINISHES SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	COLOR
	EXTERIOR CEDAR SIDING	HEWN	RUSTIC RECLAIMED STANDARD TEXTURE 8" SHIPLAP (TIGHT FIT)
BR-1	STRUCTURAL BRICK	INTERSTATE BRICK	MOUNTAIN ROSE
MT-1	CLEAR ANODIZED STOREFRONT	KAWNEER	CLEAR ANODIZED
MT-2	PRE-FINISHED METAL	TAYLOR METALS	GRAPHITE BLACK
MT-3	PRE-FINISHED METAL WALL PANEL	TAYLOR METALS	SHADOW LINE - GRAPHITE BLACK
MT-4	PAINTED STEEL CANOPY	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN
PT-1	PAINTED EXISTING BRICK - WHITE	SHERWIN WILLIAMS	SW 6168 - MODERNEWHITE
PT-2	PAINTED EXISTING BRICK - BLACK	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN
PT-3	PAINTED EXISTING METAL ROOF	STANDARD KYNAR 500	GRAPHITE BLACK
PT-4	STUCCO GRAY	SHERWIN WILLIAMS	SW 7674 PEPPERCORN
PT-5	EXISTING METAL - PAINTED	SHERWIN WILLIAMS	SW 7674 PEPPERCORN
WD-1	EXTERIOR CEDAR SIDING	HEWN	RUSTIC RECLAIMED STANDARD TEXTURE 8" SHIPLAP (TIGHT FIT)



1 EAST ELEVATION  
A201 3/16" = 1'-0"



2 NORTH ELEVATION  
A201 3/16" = 1'-0"

### KEYNOTE

- EXISTING ELECTRICAL EQUIPMENT
- EXISTING AC UNIT TO REMAIN
- REPAINT EXISTING METAL ROOF
- REPAINT EXISTING BRICK WALL
- EXISTING STOREFRONT
- GABLE VENT
- EXISTING ACCENT AND LIGHT
- FRAMED ROOF ELEMENT
- NEW ROOF ELEMENT, MAIN BEAM AND CONNECTIONS AT ROOF ARE FIXED, RIBS ARE ABLE TO BE DETACHED FOR RTU PLACEMENT.
- NEW BRICK VENEER
- NEW CEDAR SIDING, SHIPLAP (TIGHT FIT)
- NEW STOREFRONT
- NEW STOREFRONT DOOR TO MATCH EXISTING SYSTEM
- NEW METAL CANOPY
- PAINT WALL ACCENT - DARK GRAY
- REPAINT EXISTING PARAPET CAP/COPING
- NOT USED
- APPROXIMATE LINE OF ROOF
- NEW PARAPET CAP
- PAINT NEW CONCRETE CURB
- NEW VERTICAL METAL PANEL SIDING
- PROVIDE BLOCKING, JUNCTION BOXES AND CONDUIT WITH PULL STRING FOR FUTURE TENANT SIGNAGE. COORDINATE W/ TENANT'S FINAL SIGN LAYOUT FOR LOCATIONS
- OVERFLOW DOWNSPOUT LAMBS TONGUE

### ELEVATION DESIGN GUIDELINES - BUILDING 'I'

**WINDOW AREA**  
GROUND FLOOR FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA AND STREET FACING FACADES  
GUIDELINE: WALL AREA MEASURED FROM 3' - 10' ABOVE GRADE, WINDOWS MEASURED FROM 0'-12" ABOVE GRADE TO EQUAL 50%.  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION FROM 30% TO 50%

FACADE	WALL AREA FROM 3'-10"	WINDOW AREA FROM 0'-12"	PERCENTAGE
NORTH WALL AREA (STREET):	805 SF	454 SF	56.4%
SOUTH WALL AREA (WALKWAY):	805 SF	890 SF	110.5%
WEST WALL AREA (DRIVE-THRU):	281 SF	63 SF	22.4%*
EAST WALL AREA (PLAZA):	281 SF	318 SF	113.2%

**ARTICULATION AREA**  
STREET FACING FACADES AND PRIMARY BUILDING ENTRY ELEVATIONS  
GUIDELINE: 30% ARTICULATION BY:  
PROJECTIONS/RECESSES MINIMUM 18" DEEP  
MATERIAL CHANGES MINIMUM 2' WIDE AND MINIMUM 25 SF  
MAXIMUM SPACING OF 40' BETWEEN PERMANENT ARCHITECTURAL FEATURES  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION TO 50%

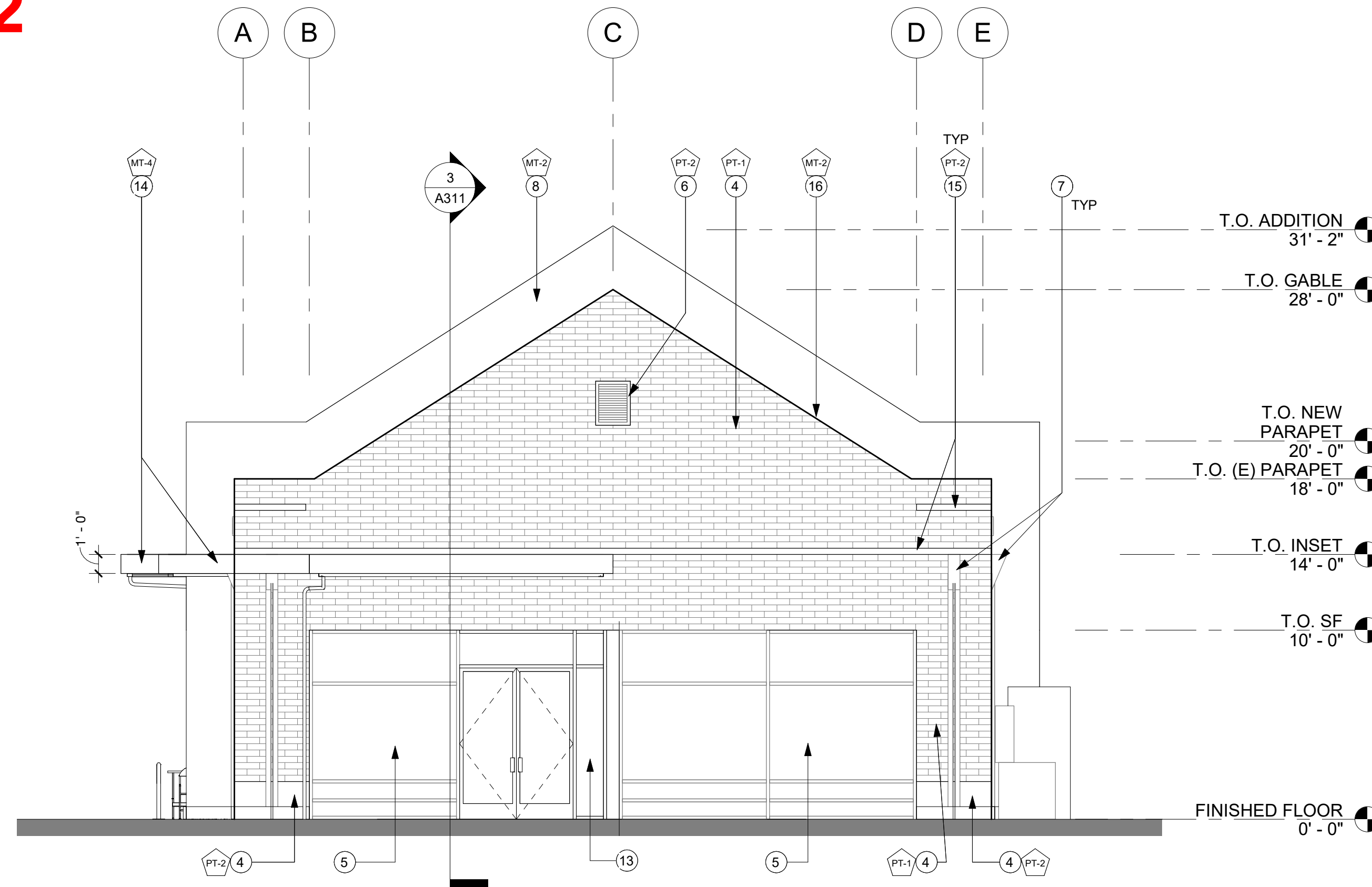
FACADE	WALL AREA FROM	ARTICULATION AREA	PERCENTAGE
NORTH WALL AREA (STREET):	3161 SF	968 SF	30.6%
SOUTH WALL AREA (WEST TENANT ENTRY):	3161 SF	1221 SF	38.6%
WEST WALL AREA (DRIVE-THRU):	878 SF	814 SF	92.7%*
EAST WALL AREA (EAST TENANT ENTRY):	878 SF	318 SF	36.2%

**WEATHER PROTECTION**  
FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA OR BUILDING ENTRIES  
GUIDELINE: WEATHER PROTECTION 4' DEEP, MINIMUM 6' WIDE AT ENTRIES FOR 50% OF FACADE

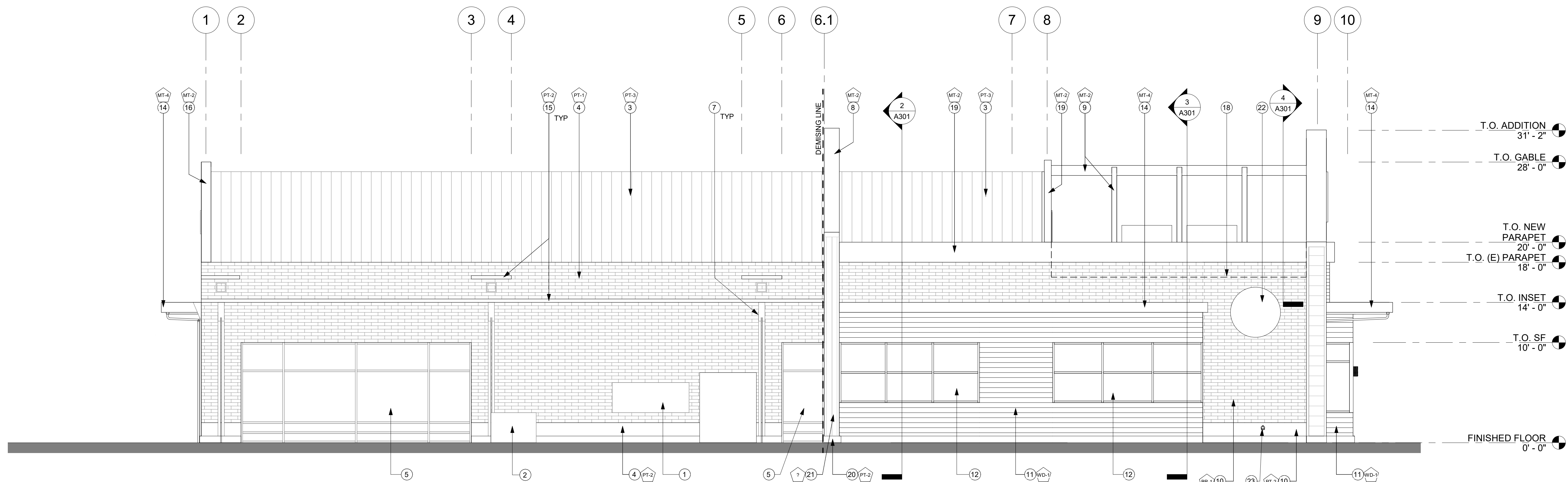
FACADE	PEDESTRIAN FACADE LF	WEATHER PROTECTION	PERCENTAGE
SOUTH WALL AREA (WEST TENANT ENTRY):	112'-6" LF	66'-9" LF X 4'-0" DEEP	59.3%
WEST TENANT'S ENTRY CANOPY WIDTH:		15'-3"	
EAST TENANT'S ENTRY CANOPY WIDTH:		23'-3"	
EAST WALL AREA (EAST TENANT ENTRY):	40'-0" LF	32'-0" LF X 12'-0" DEEP	80.0%
EAST TENANT'S ENTRY CANOPY WIDTH:		32'-0"	

### EXTERIOR FINISHES SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	COLOR
BR-1	STRUCTURAL BRICK	INTERSTATE BRICK	MOUNTAIN ROSE
MT-1	CLEAR ANODIZED STOREFRONT	KAWNEER	CLEAR ANODIZED
MT-2	PRE-FINISHED METAL	--	TO MATCH SW 7674 PEPPERCORN
MT-3	PRE-FINISHED METAL WALL PANEL	TAYLOR METALS	SHADOW LINE - GRAPHITE BLACK
MT-4	PRE-FINISHED STEEL CANOPY	CASCADIA METALS	DARK GRAY
PT-1	PAINTED EXISTING BRICK - WHITE	SHERWIN WILLIAMS	SW 6168 - MODERNEWHITE
PT-2	PAINTED EXISTING BRICK - BLACK	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN
PT-3	PAINTED EXISTING METAL ROOF	STANDARD KYNAR 500	GRAPHITE BLACK
PT-4	STUCCO GRAY	SHERWIN WILLIAMS	SW 7674 PEPPERCORN
WD-1	EXTERIOR CEDAR SIDING	HEWEN	RUSTIC RECLAIMED STANDARD TEXTURE 8" SHIPLAP (TIGHT FIT)



1  
A201  
EAST ELEVATION  
3/16" = 1'-0"



2  
A201  
NORTH ELEVATION  
3/16" = 1'-0"

**KEYNOTE**

- 1 REPAINT EXISTING METAL ROOF
- 2 REPAINT EXISTING BRICK WALL
- 3 REPAINT EXISTING FASCIA
- 4 EXISTING STOREFRONT
- 5 EXISTING ACCENT AND LIGHT, PREPARE METAL FOR NEW PAINT
- 6 FRAMED ROOF ELEMENT
- 7 REPAINT EXISTING CONCRETE CURB
- 8 APPROXIMATE LINE OF ROOF
- 9 NEW ROOF ELEMENT, MAIN BEAM AND CONNECTIONS AT ROOF ARE FIXED, RIBS ARE ABLE TO BE DETACHED FOR RTU PLACEMENT.
- 10 NEW BRICK VENEER
- 11 NEW CEDAR SIDING, SHIPLAP (TIGHT FIT)
- 12 NEW STOREFRONT
- 13 NEW STOREFRONT DOOR TO MATCH EXISTING SYSTEM
- 14 NEW VERTICAL METAL PANEL SIDING
- 15 NEW METAL CANOPY
- 16 PAINT WALL ACCENT - DARK GRAY
- 17 REPAINT EXISTING PARAPET CAP/COPING
- 18 NEW PARAPET CAP
- 19 PAINT NEW CONCRETE CURB
- 20 PROVIDE BLOCKING, JUNCTION BOXES AND CONDUIT WITH PULL STRING FOR FUTURE TENANT SIGNAGE, COORDINATE W/ TENANT'S FINAL SIGN LAYOUT FOR LOCATIONS
- 21 CANOPY DOWNSPOUT, 2" DIA. BLACK STEEL SCHEDULE 40 PIPE, PAINTED TO MATCH MT-4
- 22 ACCESS PANEL, LOCKABLE, FOR CANOPY DOWNSPOUT CLEANOUT BEYOND. PAINT TO MATCH ADJACENT SIDING
- 23 INSTALL RIDGE VENT LENGTH OF NEW PEAKED ROOF

**ELEVATION DESIGN GUIDELINES - BUILDING 'I'**

**WINDOW AREA**  
GROUND FLOOR FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA AND STREET FACING FACADES  
GUIDELINE: WALL AREA MEASURED FROM 3' - 10" ABOVE GRADE, WINDOWS MEASURED FROM 0'-12" ABOVE GRADE TO EQUAL 50%.  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION FROM 30% TO 50%

FACADE	WALL AREA FROM 3'-10"	WINDOW AREA FROM 0'-12"	PERCENTAGE
NORTH WALL AREA (STREET):	805 SF	454 SF	56.4%
SOUTH WALL AREA (WALKWAY):	805 SF	890 SF	110.5%
WEST WALL AREA (DRIVE-THRU):	281 SF	63 SF	22.4%*
EAST WALL AREA (PLAZA):	281 SF	318 SF	113.2%

**ARTICULATION AREA**  
STREET FACING FACADES AND PRIMARY BUILDING ENTRY ELEVATIONS  
GUIDELINE: 30% ARTICULATION BY:  
PROJECTIONS/RECESSES MINIMUM 18" DEEP  
MATERIAL CHANGES MINIMUM 2' WIDE AND MINIMUM 25 SF  
MAXIMUM SPACING OF 40' BETWEEN PERMANENT ARCHITECTURAL FEATURES  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION TO 50%

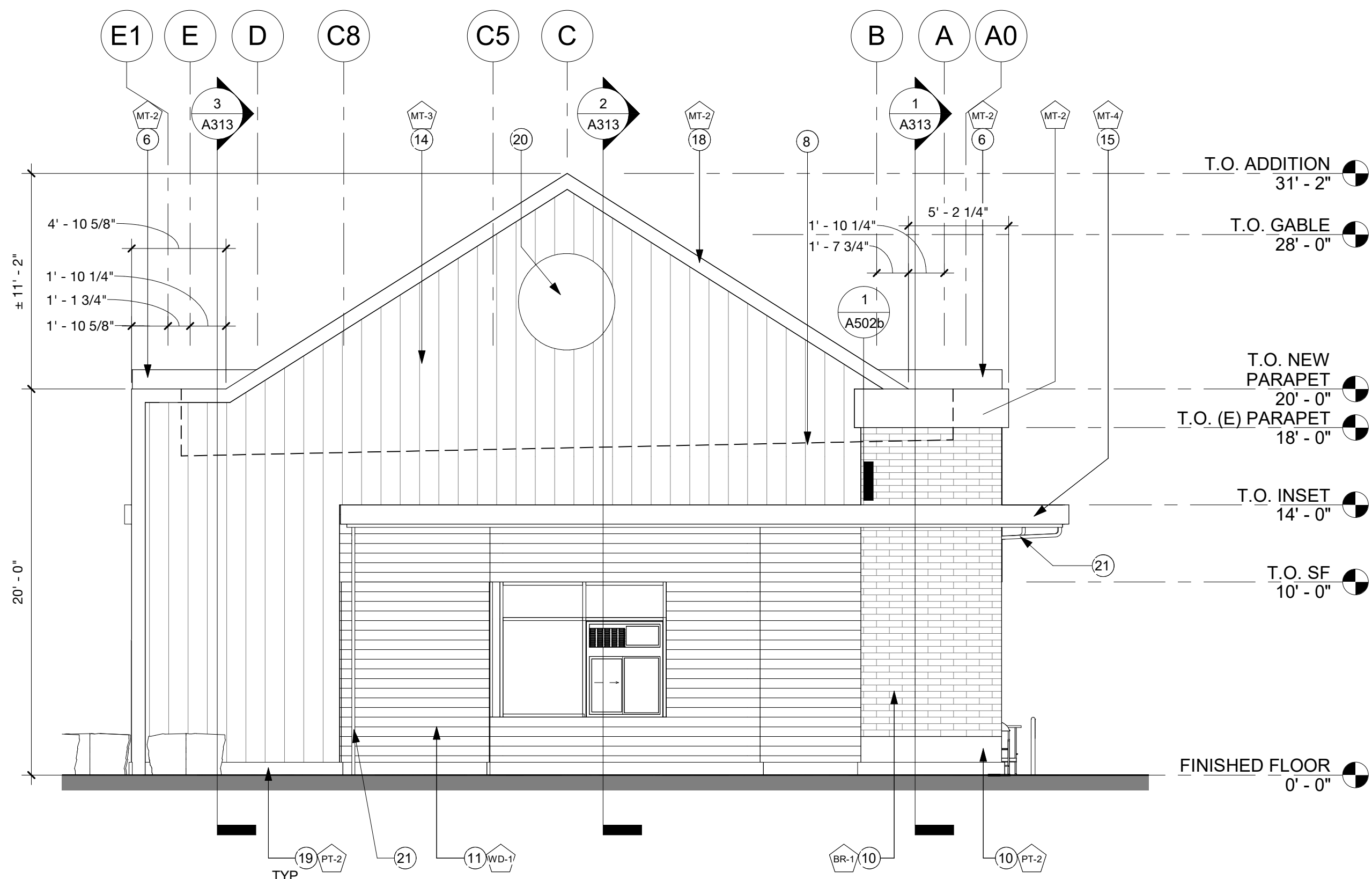
FACADE	WALL AREA FROM	ARTICULATION AREA	PERCENTAGE
NORTH WALL AREA (STREET):	3161 SF	968 SF	30.6%
SOUTH WALL AREA (WEST TENANT ENTRY):	3161 SF	1221 SF	38.6%
WEST WALL AREA (DRIVE-THRU):	878 SF	814 SF	92.7%*
EAST WALL AREA (EAST TENANT ENTRY):	878 SF	318 SF	36.2%

**WEATHER PROTECTION**  
FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA OR BUILDING ENTRIES  
GUIDELINE: WEATHER PROTECTION 4" DEEP, MINIMUM 6" WIDE AT ENTRIES FOR 50% OF FACADE

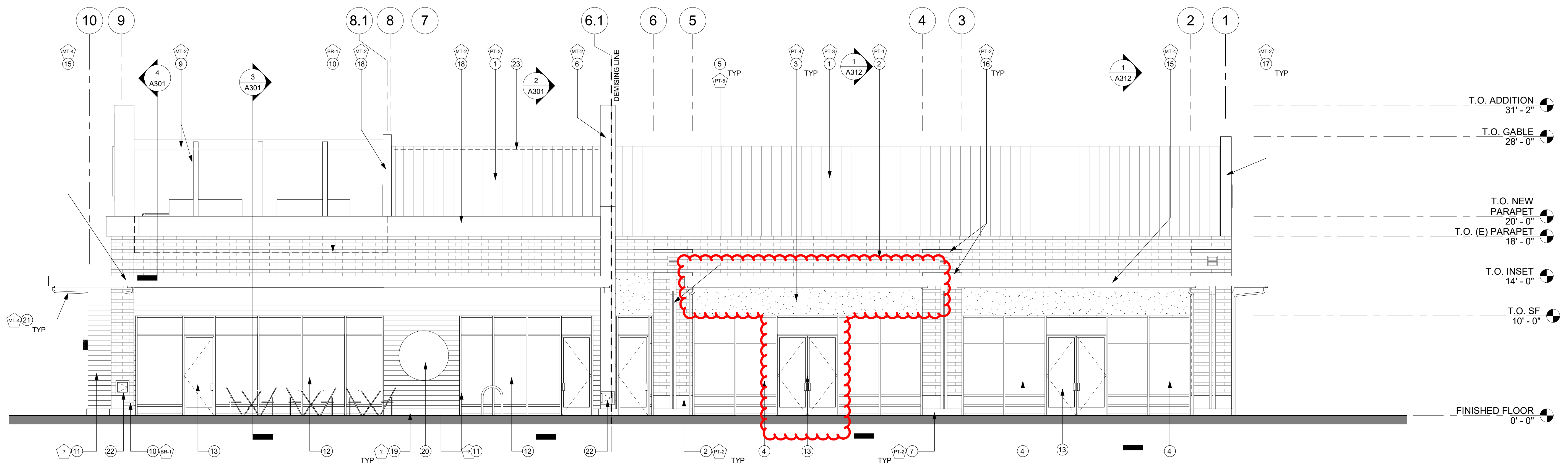
FACADE	PEDESTRIAN FACADE LF	WEATHER PROTECTION	PERCENTAGE
SOUTH WALL AREA (WEST TENANT ENTRY):	112'-6" LF	66'-9" LF X 4'-0" DEEP	59.3%
WEST TENANT'S ENTRY CANOPY WIDTH:		15'-3"	
EAST TENANT'S ENTRY CANOPY WIDTH:		23'-3"	
EAST WALL AREA (EAST TENANT ENTRY):	40'-0" LF	32'-0" LF X 12'-0" DEEP	80.0%
EAST TENANT'S ENTRY CANOPY WIDTH:		32'-0"	

**EXTERIOR FINISHES SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	COLOR
	EXTERIOR CEDAR SIDING	HEWN	RUSTIC RECLAIMED STANDARD TEXTURE 8" SHIPLAP (TIGHT FIT)
BR-1	STRUCTURAL BRICK	INTERSTATE BRICK	MOUNTAIN ROSE
MT-1	CLEAR ANODIZED STOREFRONT	KAWNEER	CLEAR ANODIZED
MT-2	PRE-FINISHED METAL	TAYLOR METALS	GRAPHITE BLACK
MT-3	PRE-FINISHED METAL WALL PANEL	TAYLOR METALS	SHADOW LINE - GRAPHITE BLACK
MT-4	PAINTED STEEL CANOPY	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN
PT-1	PAINTED EXISTING BRICK - WHITE	SHERWIN WILLIAMS	SW 6168 - MODERNEWHITE
PT-2	PAINTED EXISTING BRICK - BLACK	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN
PT-3	PAINTED EXISTING METAL ROOF	STANDARD KYNAR 500	GRAPHITE BLACK
PT-4	STUCCO GRAY	SHERWIN WILLIAMS	SW 7674 PEPPERCORN
PT-5	EXISTING METAL - PAINTED	SHERWIN WILLIAMS	SW 7674 PEPPERCORN
WD-1	EXTERIOR CEDAR SIDING	HEWN	RUSTIC RECLAIMED STANDARD TEXTURE 8" SHIPLAP (TIGHT FIT)



**1 WEST ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"

# APPROVED UNDER DR2022-0008/LO2022-0002 AND LU12023-00442



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised

**PK 21052**  
Original Issue: 06/22/2023  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

**EXTERIOR  
ELEVATIONS**

**A202**

DESIGN REVIEW

### KEYNOTE

- REPAINT EXISTING METAL ROOF
- REPAINT EXISTING BRICK WALL
- REPAINT EXISTING FASCIA
- EXISTING STOREFRONT
- EXISTING ACCENT AND LIGHT
- FRAMED ROOF ELEMENT
- REPAINT EXISTING CONCRETE CURB
- APPROXIMATE LINE OF ROOF
- NEW ROOF ELEMENT, MAIN BEAM AND CONNECTIONS AT ROOF ARE FIXED, RIBS ARE ABLE TO BE DETACHED FOR RTU PLACEMENT.
- NEW BRICK VENEER
- NEW CEDAR SIDING, SHIPLAP (TIGHT FIT)
- NEW STOREFRONT
- NEW STOREFRONT DOOR TO MATCH EXISTING SYSTEM
- NEW VERTICAL METAL PANEL SIDING
- NEW METAL CANOPY
- PAINT WALL ACCENT - DARK GRAY
- REPAINT EXISTING PARAPET CAP/COPING
- NEW PARAPET CAP
- PAINT NEW CONCRETE CURB
- PROVIDE BLOCKING, JUNCTION BOXES AND CONDUIT WITH PULL STRING FOR FUTURE TENANT SIGNAGE. COORDINATE W/ TENANT'S FINAL SIGN LAYOUT FOR LOCATIONS.
- CANOPY DOWNSPOUT, 2" DIA. BLACK STEEL SCHEDULE 40 PIPE, PAINTED TO MATCH MT-4
- ACCESS PANEL, LOCKABLE, FOR CANOPY DOWNSPOUT CLEANOUT BEYOND. PAINT TO MATCH ADJACENT SIDING

### ELEVATION DESIGN GUIDELINES - BUILDING 'I'

**WINDOW AREA**  
GROUND FLOOR FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA AND STREET FACING FACADES  
GUIDELINE: WALL AREA MEASURED FROM 3' - 10" ABOVE GRADE, WINDOWS MEASURED FROM 0'-12" ABOVE GRADE TO EQUAL 50%.  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION FROM 30% TO 50%

FACADE	WALL AREA FROM 3'-10"	WINDOW AREA FROM 0'-12"	PERCENTAGE
NORTH WALL AREA (STREET):	805 SF	454 SF	56.4%
SOUTH WALL AREA (WALKWAY):	805 SF	890 SF	110.5%
WEST WALL AREA (DRIVE-THRU):	281 SF	63 SF	22.4%*
EAST WALL AREA (PLAZA):	281 SF	318 SF	113.2%

**ARTICULATION AREA**  
STREET FACING FACADES AND PRIMARY BUILDING ENTRY ELEVATIONS  
GUIDELINE: 30% ARTICULATION BY:  
PROJECTIONS/RECESSES MINIMUM 18" DEEP  
MATERIAL CHANGES MINIMUM 2' WIDE AND MINIMUM 25 SF  
MAXIMUM SPACING OF 40' BETWEEN PERMANENT ARCHITECTURAL FEATURES  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION TO 50%

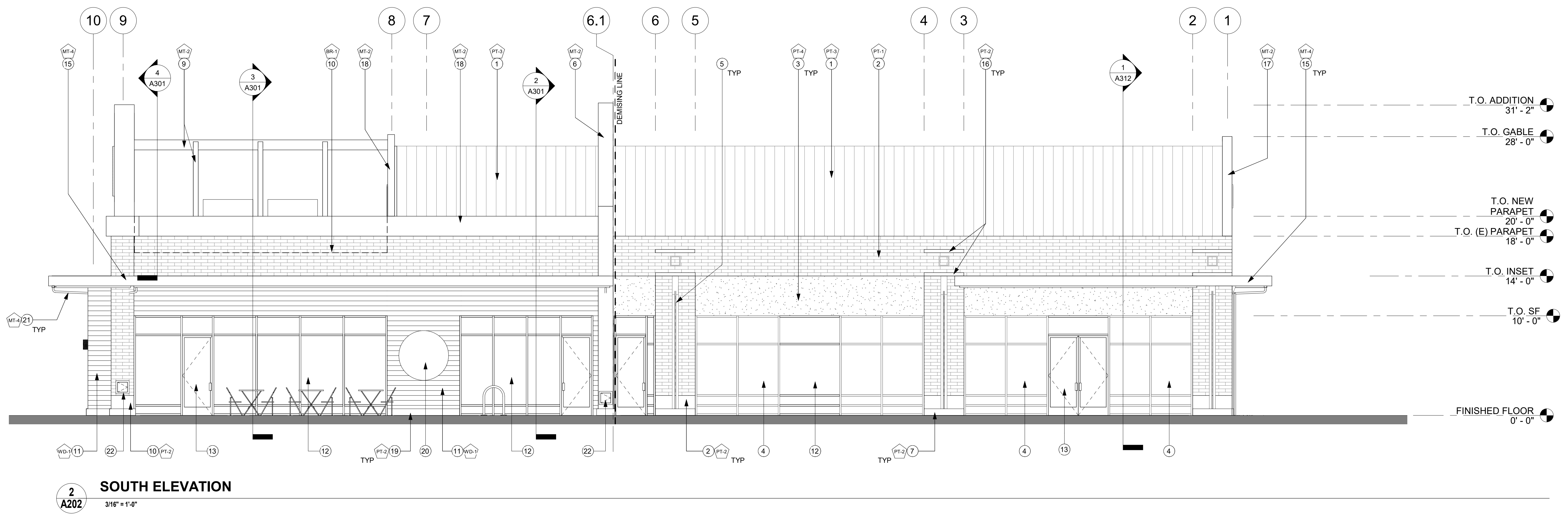
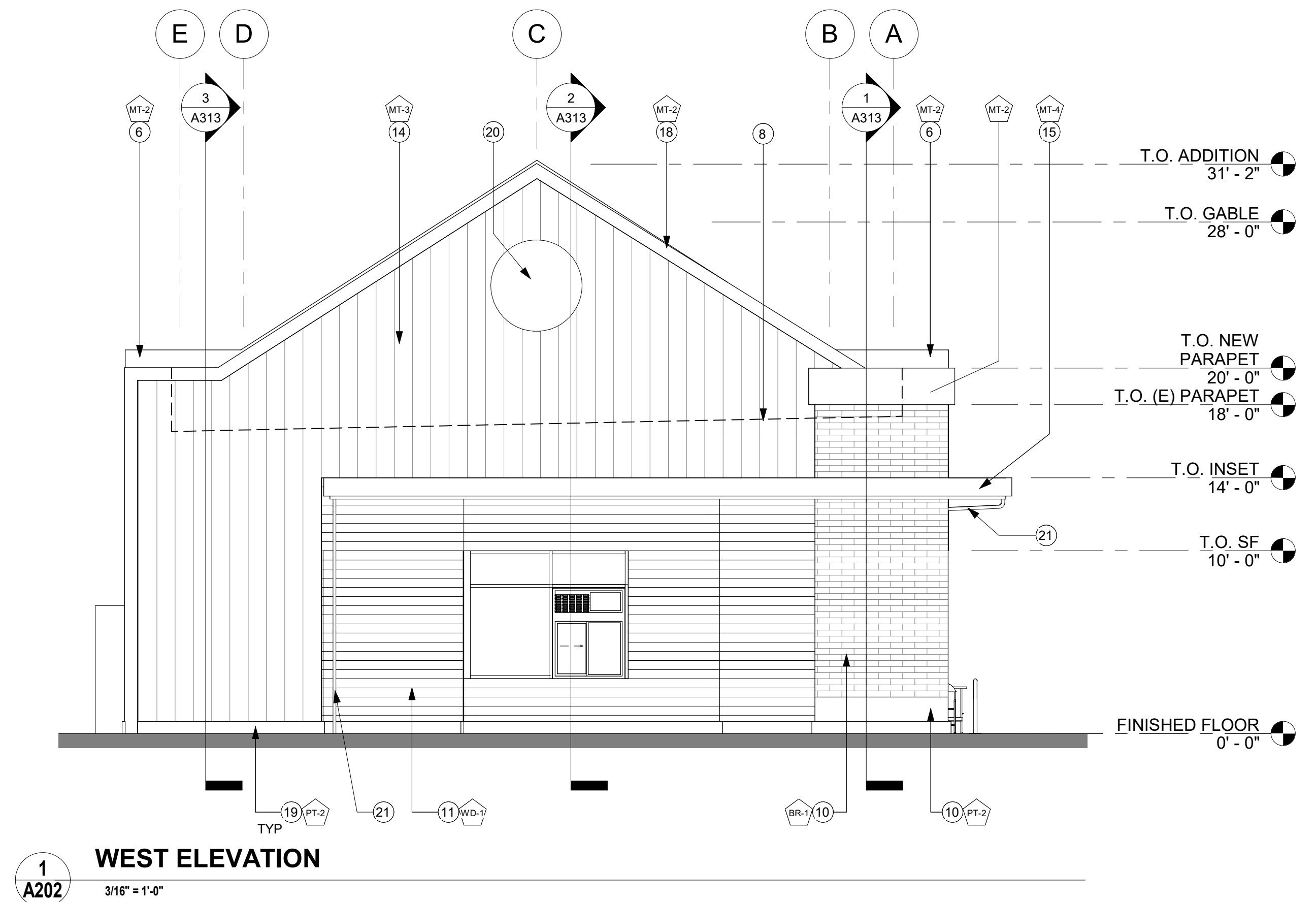
FACADE	WALL AREA FROM	ARTICULATION AREA	PERCENTAGE
NORTH WALL AREA (STREET):	3161 SF	968 SF	30.6%
SOUTH WALL AREA (WEST TENANT ENTRY):	3161 SF	1221 SF	38.6%
WEST WALL AREA (DRIVE-THRU):	878 SF	814 SF	92.7%*
EAST WALL AREA (EAST TENANT ENTRY):	878 SF	318 SF	36.2%

**WEATHER PROTECTION**  
FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA OR BUILDING ENTRIES  
GUIDELINE: WEATHER PROTECTION 4" DEEP, MINIMUM 6" WIDE AT ENTRIES FOR 50% OF FACADE

FACADE	PEDESTRIAN FACADE LF	WEATHER PROTECTION	PERCENTAGE
SOUTH WALL AREA (WEST TENANT ENTRY):	112'-6" LF	66'-9" LF X 4'-0" DEEP	59.3%
WEST TENANT'S ENTRY CANOPY WIDTH:		15'-3"	
EAST TENANT'S ENTRY CANOPY WIDTH:		23'-3"	
EAST WALL AREA (EAST TENANT ENTRY):	40'-0" LF	32'-0" LF X 12'-0" DEEP	80.0%
EAST TENANT'S ENTRY CANOPY WIDTH:		32'-0"	

### EXTERIOR FINISHES SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	COLOR
BR-1	STRUCTURAL BRICK	INTERSTATE BRICK	MOUNTAIN ROSE
MT-1	CLEAR ANODIZED STOREFRONT	KAWNEER	CLEAR ANODIZED
MT-2	PRE-FINISHED METAL	--	TO MATCH SW 7674 PEPPERCORN
MT-3	PRE-FINISHED METAL WALL PANEL	TAYLOR METALS	SHADOW LINE - GRAPHITE BLACK
MT-4	PRE-FINISHED STEEL CANOPY	CASCADIA METALS	DARK GRAY
PT-1	PAINTED EXISTING BRICK - WHITE	SHERWIN WILLIAMS	SW 6168 - MODERNEWHITE
PT-2	PAINTED EXISTING BRICK - BLACK	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN
PT-3	PAINTED EXISTING METAL ROOF	STANDARD KYNAR 500	GRAPHITE BLACK
PT-4	STUCCO GRAY	SHERWIN WILLIAMS	SW 7674 PEPPERCORN
WD-1	EXTERIOR CEDAR SIDING	HEWEN	RUSTIC RECLAIMED STANDARD TEXTURE 8" SHIPLAP (TIGHT FIT)



### ELEVATION DESIGN GUIDELINES - BUILDING 'J'

**WINDOW AREA**  
GROUND FLOOR FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA AND STREET FACING FACADES  
GUIDELINE: WALL AREA MEASURED FROM 3' - 10' ABOVE GRADE, WINDOWS MEASURED FROM 0'-12" ABOVE GRADE TO EQUAL 50%.  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION FROM 30% TO 50%

FACADE	WALL AREA FROM 3'-10"	WINDOW AREA FROM 0'-12"	PERCENTAGE
NORTH WALL AREA (STREET):	301 SF	222 SF	73.8%
SOUTH WALL AREA (WALKWAY):	301 SF	194 SF	64.5%
WEST WALL AREA (PLAZA):	332 SF	283 SF	85.2%
EAST WALL AREA (RAMP):	332 SF	140 SF	42.2%

**ARTICULATION AREA**  
STREET FACING FACADES AND PRIMARY BUILDING ENTRY ELEVATIONS  
GUIDELINE: 30% ARTICULATION BY:  
PROJECTIONS/RECESSES MINIMUM 18" DEEP  
MATERIAL CHANGES MINIMUM 2' WIDE AND MINIMUM 25 SF  
MAXIMUM SPACING OF 40' BETWEEN PERMANENT ARCHITECTURAL FEATURES  
\*ELEVATIONS WITH LESS THAN 50% WINDOWS TO INCREASE ARTICULATION TO 50%

FACADE	WALL AREA	ARTICULATION AREA	PERCENTAGE
NORTH WALL AREA (STREET):	1,116 SF	905 SF	81.1%
SOUTH WALL AREA (TENANT PRIMARY ENTRY):	1,116 SF	547 SF	49.0%
EAST WALL AREA:	1,101 SF	588 SF	53.4%

**WEATHER PROTECTION**  
FACADES WITH PEDESTRIAN WALKWAYS OR PLAZA OR BUILDING ENTRIES  
GUIDELINE: WEATHER PROTECTION 4' DEEP, MINIMUM 6' WIDE AT ENTRIES FOR 50% OF FACADE

FACADE	PEDESTRIAN FACADE LF	WEATHER PROTECTION	PERCENTAGE
NORTH WALL AREA:	43'-0" LF	39'-0" LF X 4'-0" DEEP	90.7%
SOUTH WALL AREA:	43'-0" LF	36'-6" LF X 4'-0" DEEP	84.9%
WEST WALL AREA:	42'-4" LF	21'-2" LF X 4'-0" DEEP	50.0%
EAST WALL AREA:	42'-4" LF	26'-4" LF X 4'-0" DEEP	62.2%



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

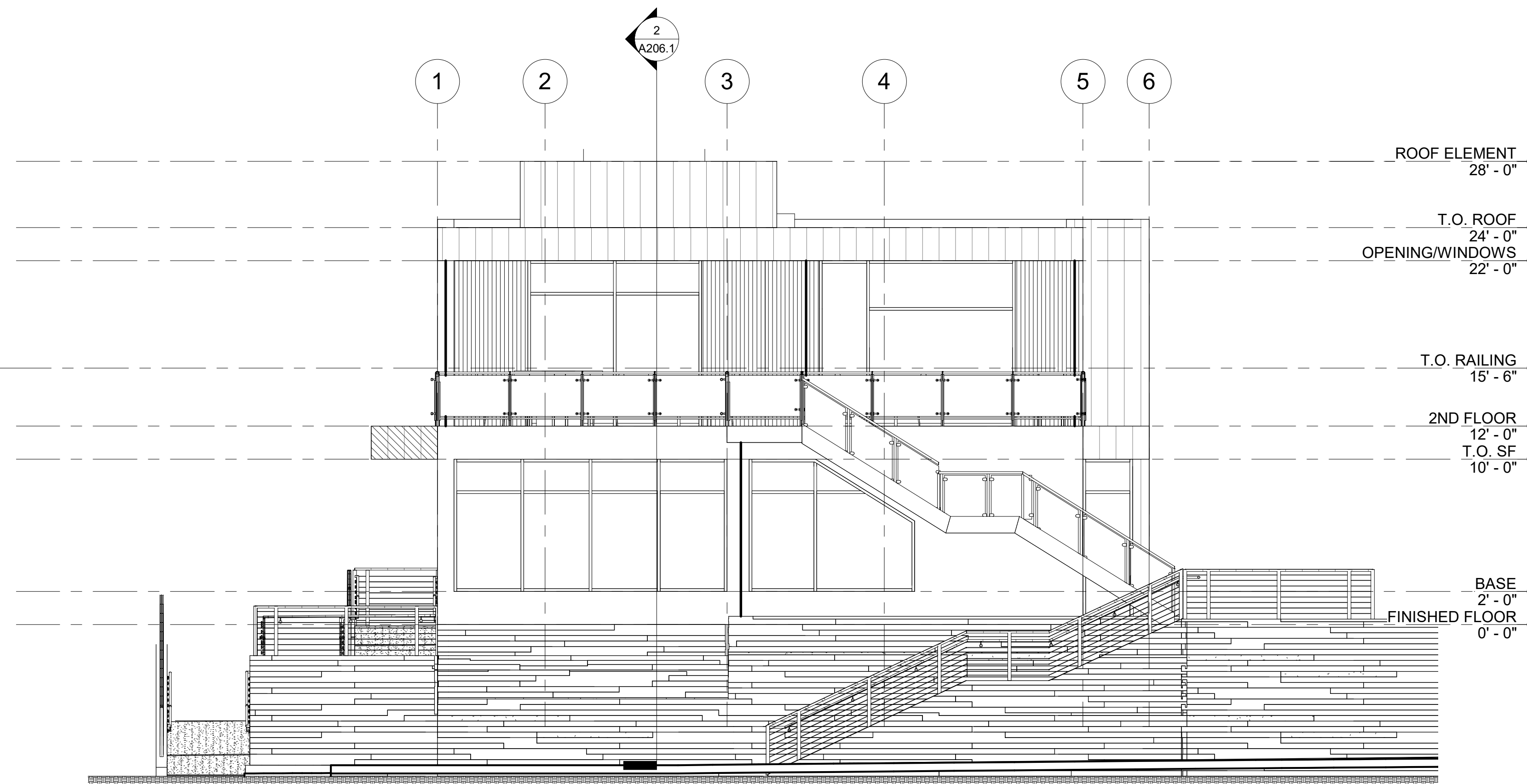
Issued / Revised

**PK 21052**  
Original Issue: 01.15.2024  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

**CORNER BLDG  
ELEVATIONS**

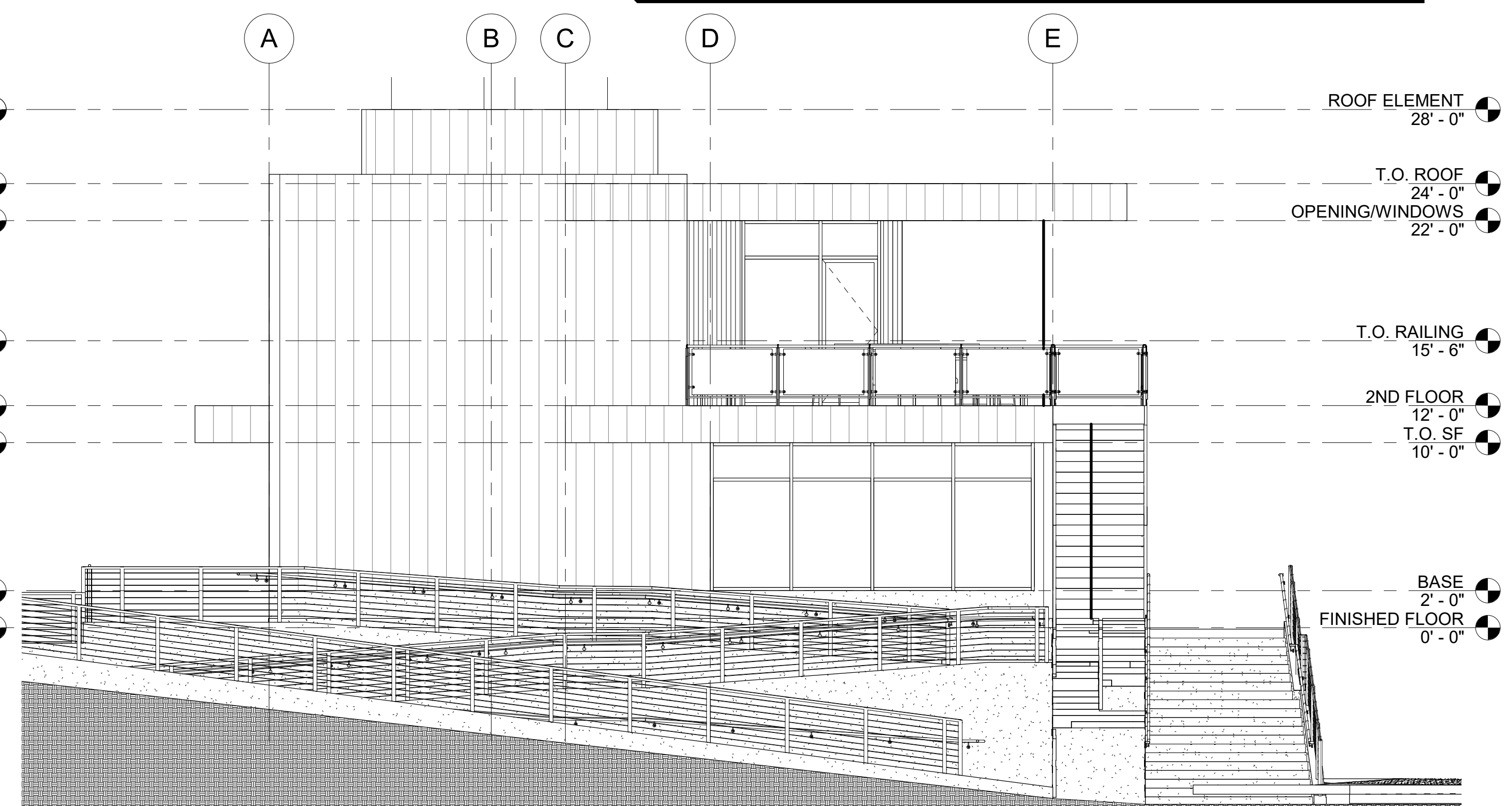
**A202.1**

DESIGN REVIEW



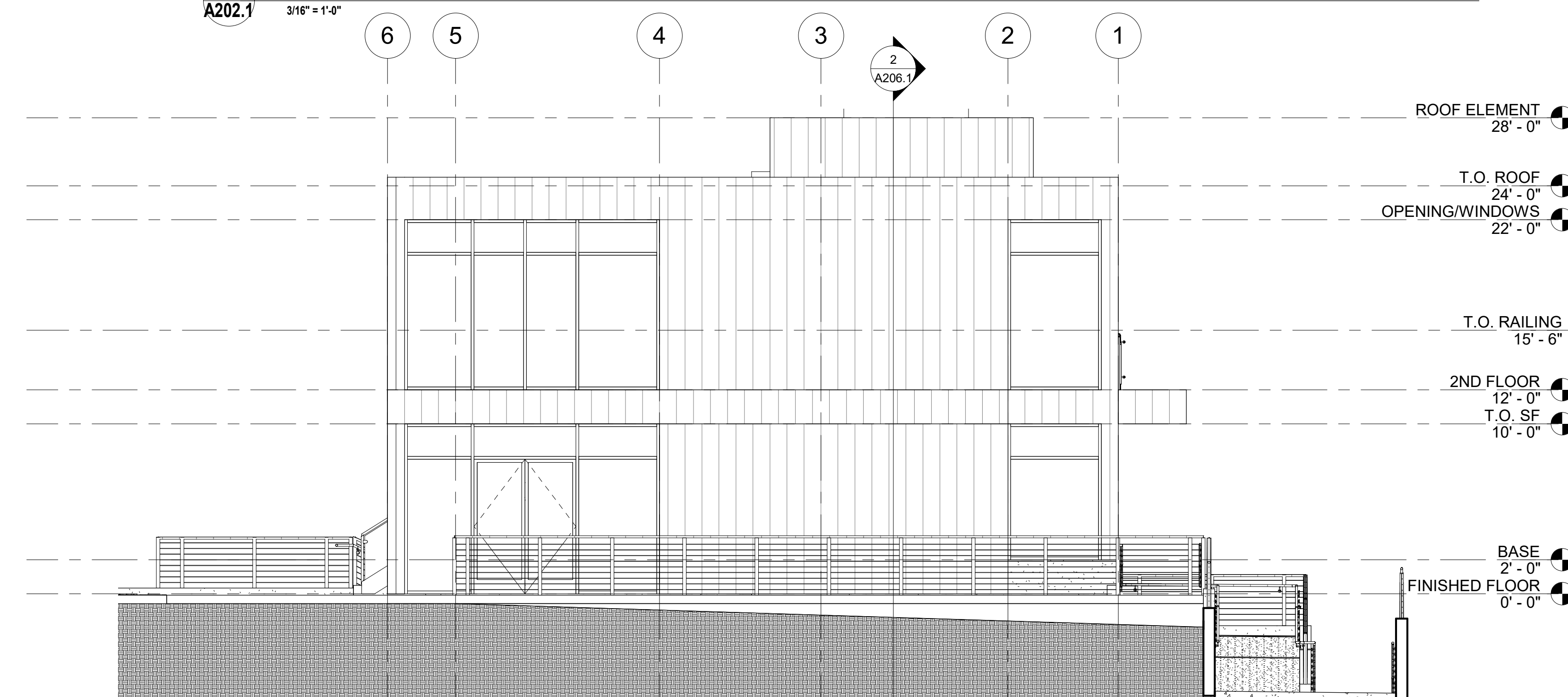
**2 CORNER BLDG NORTH ELEVATION**

A202.1 3/16" = 1'-0"



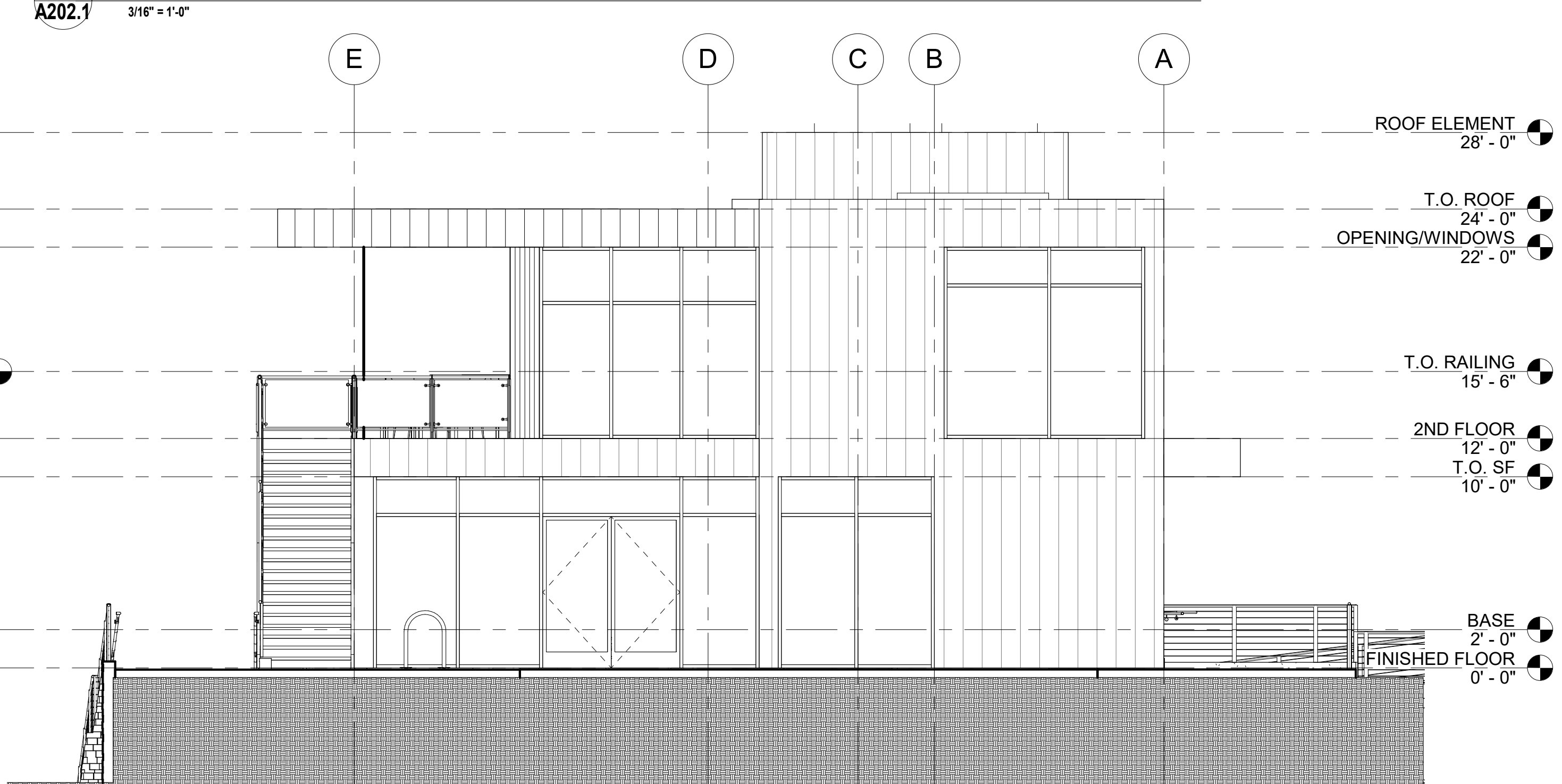
**1 CORNER BLDG EAST ELEVATION**

A202.1 3/16" = 1'-0"



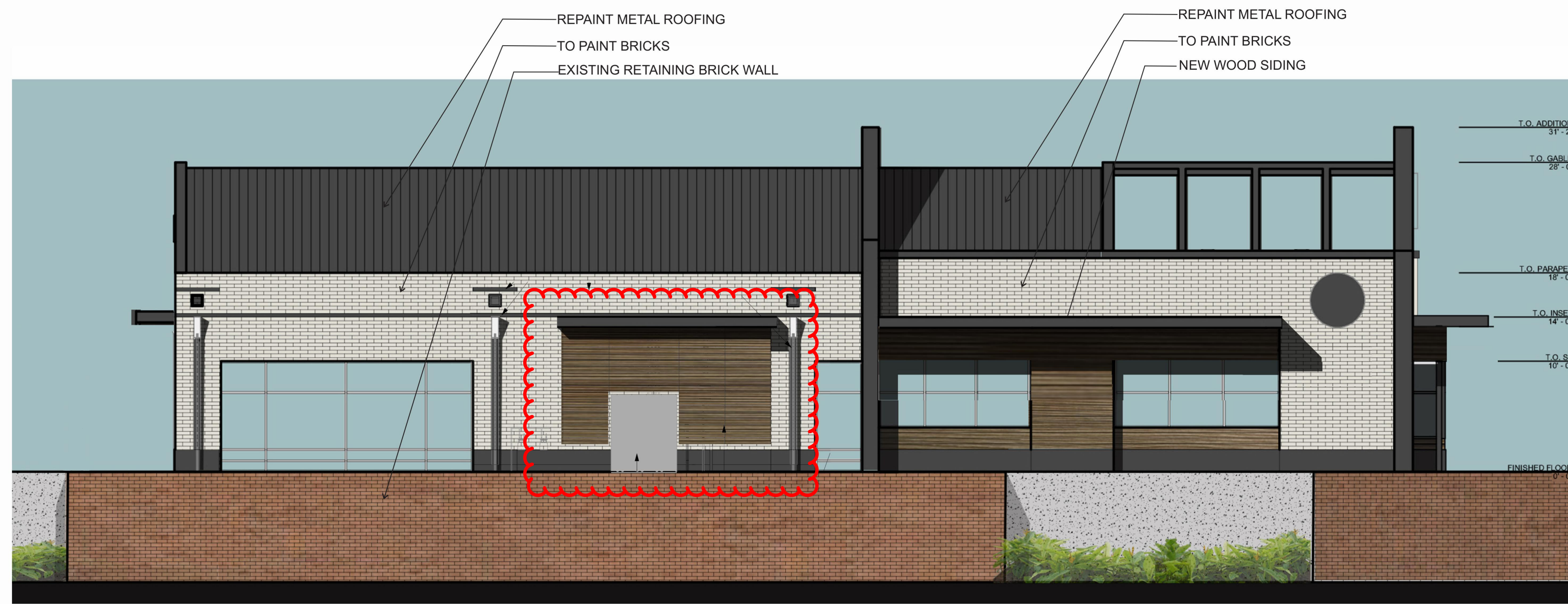
**3 CORNER BLDG SOUTH ELEVATION**

A202.1 3/16" = 1'-0"

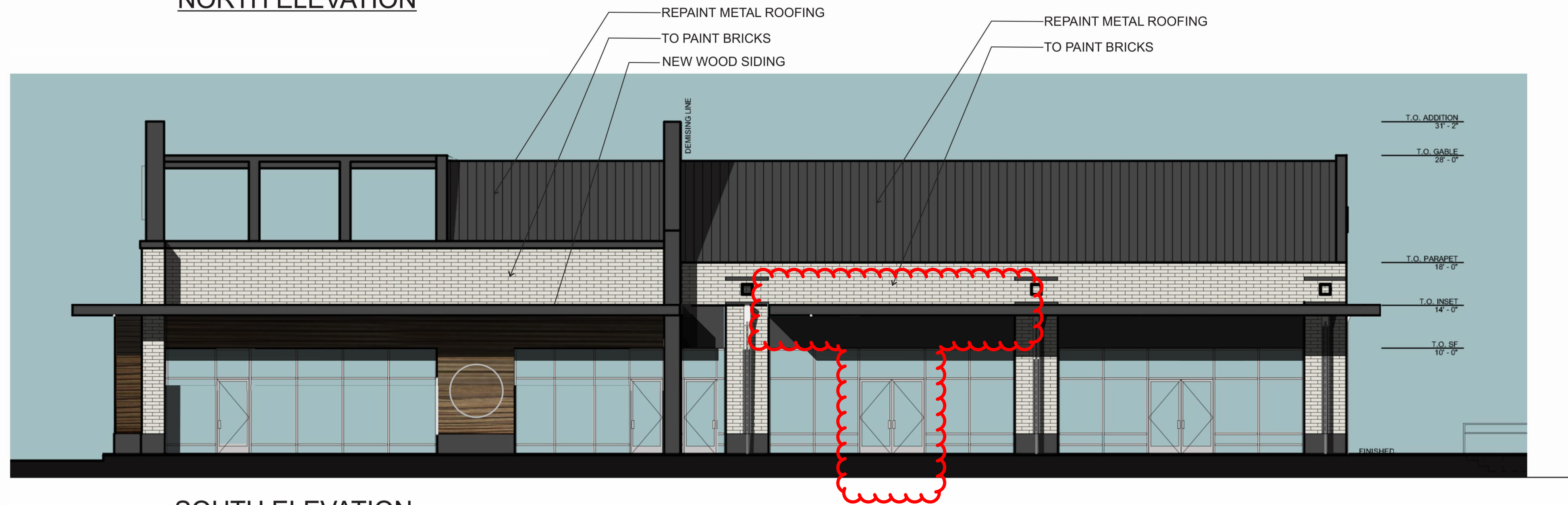
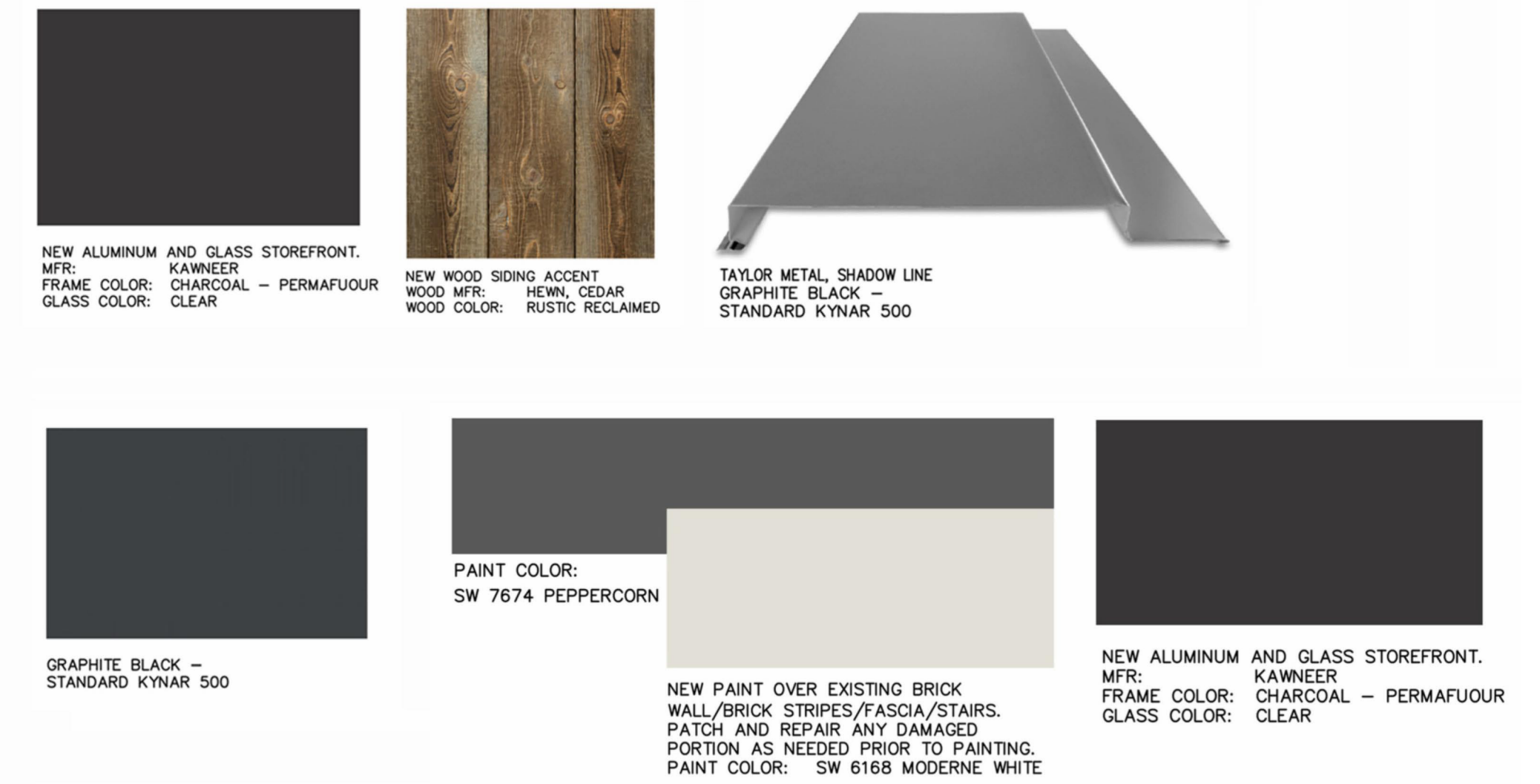


**4 CORNER BLDG WEST ELEVATION**

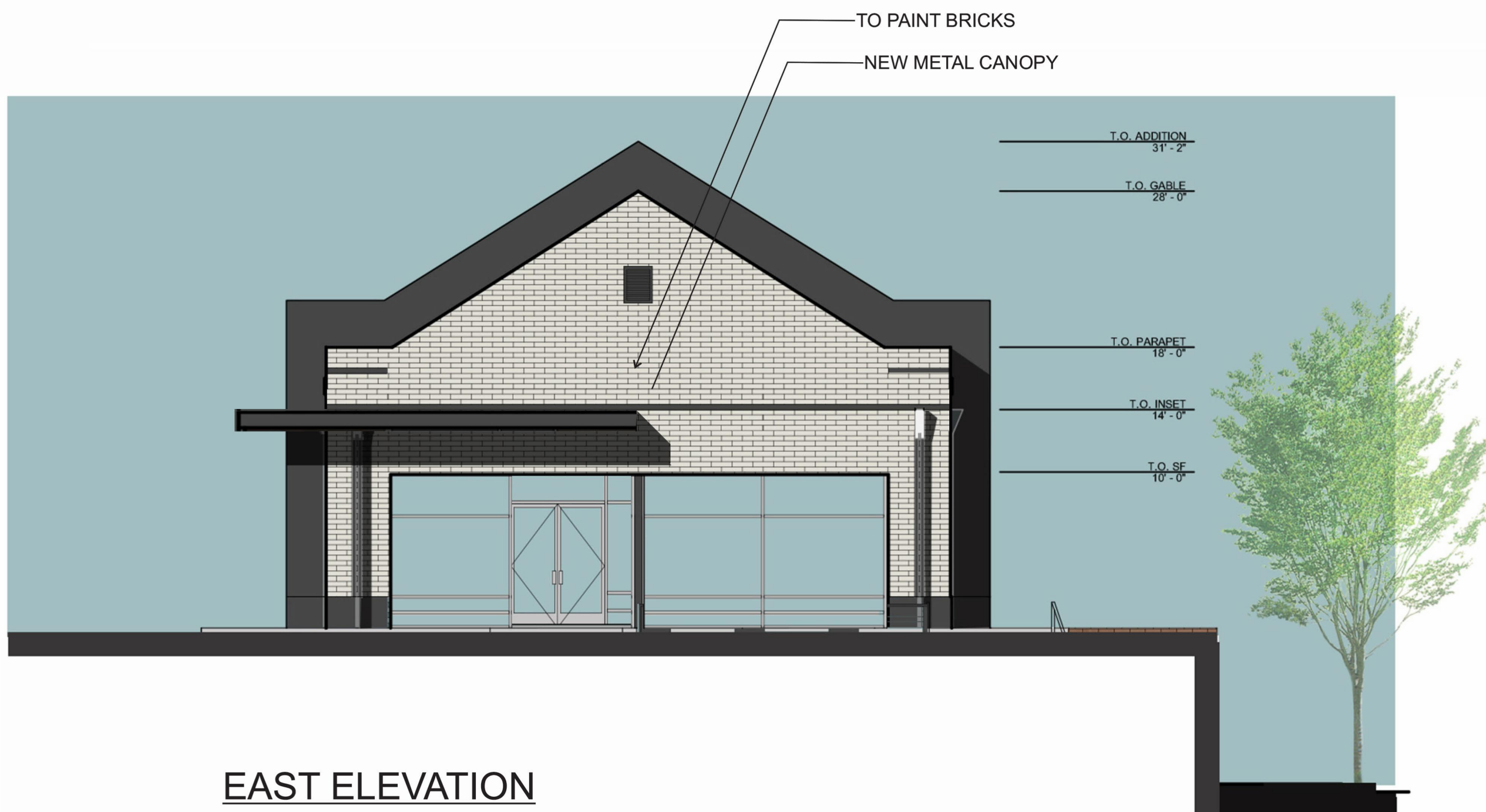
A202.1 3/16" = 1'-0"



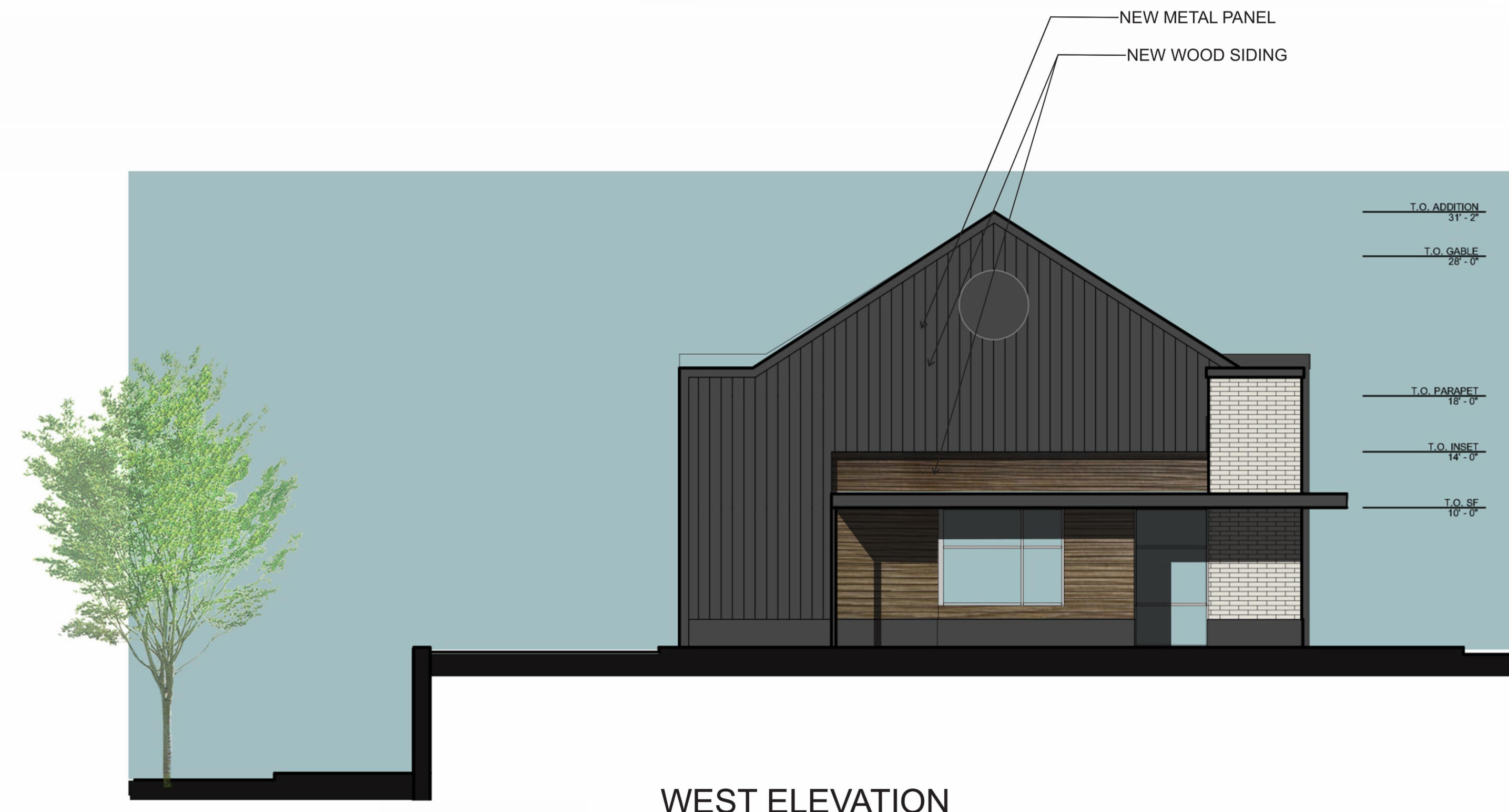
**NORTH ELEVATION**



**SOUTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**

Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised

**PK 21052**

Original Issue: 01.15.2024  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

**RENDERED  
ELEVATIONS**

**A203**

DESIGN REVIEW



# APPROVED UNDER DR2022-0008/ LO2022-0002 AND LU12023-00442



Baysinger Partners Architecture  
2410 North Lombard Street  
Portland, OR 97217  
503-546-1600  
MelindaV@BaysingerPartners.com



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised

**PK 21052**

Original Issue: 06/22/2023  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

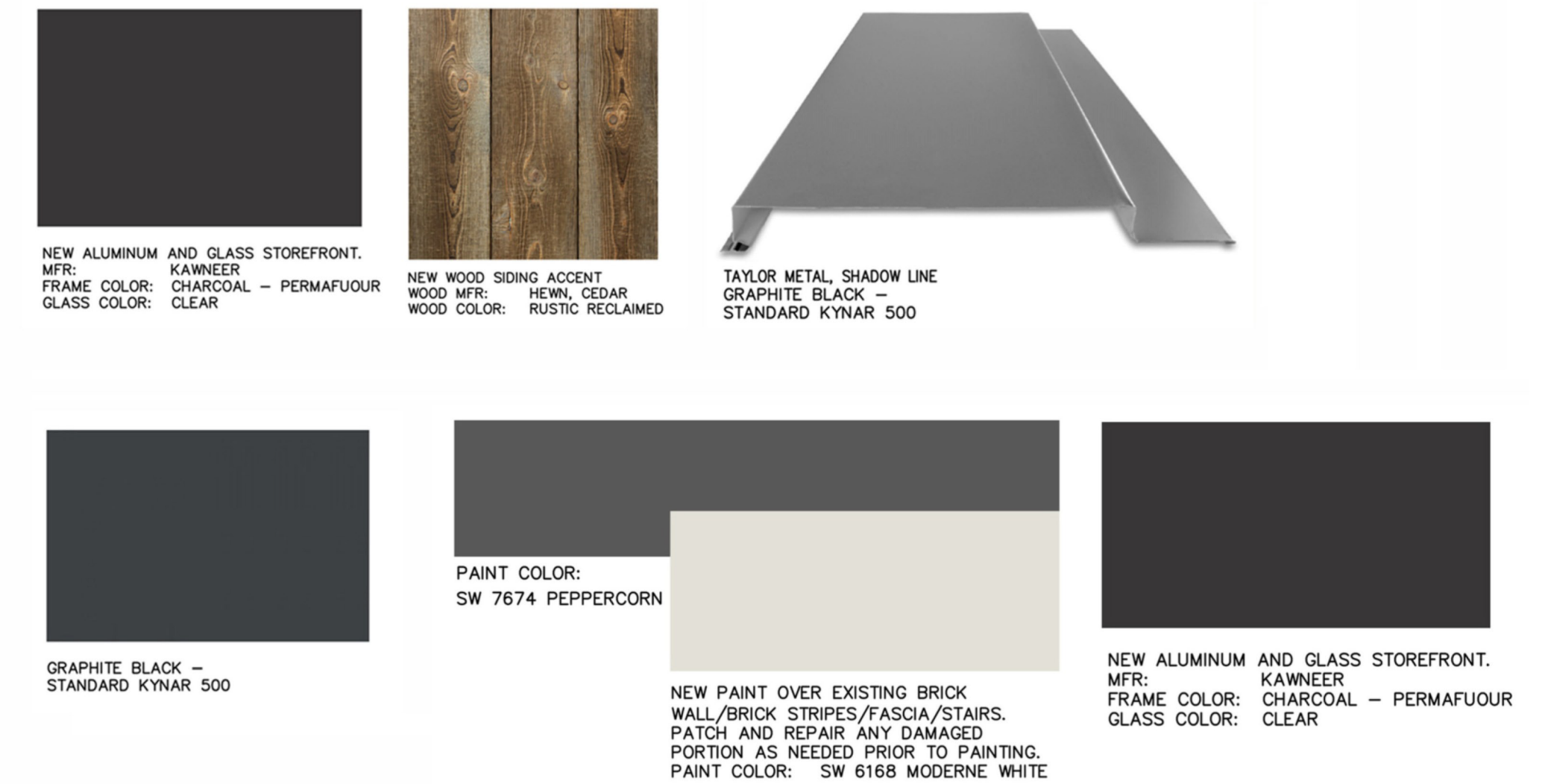
**RENDERED  
ELEVATIONS**

**A203**

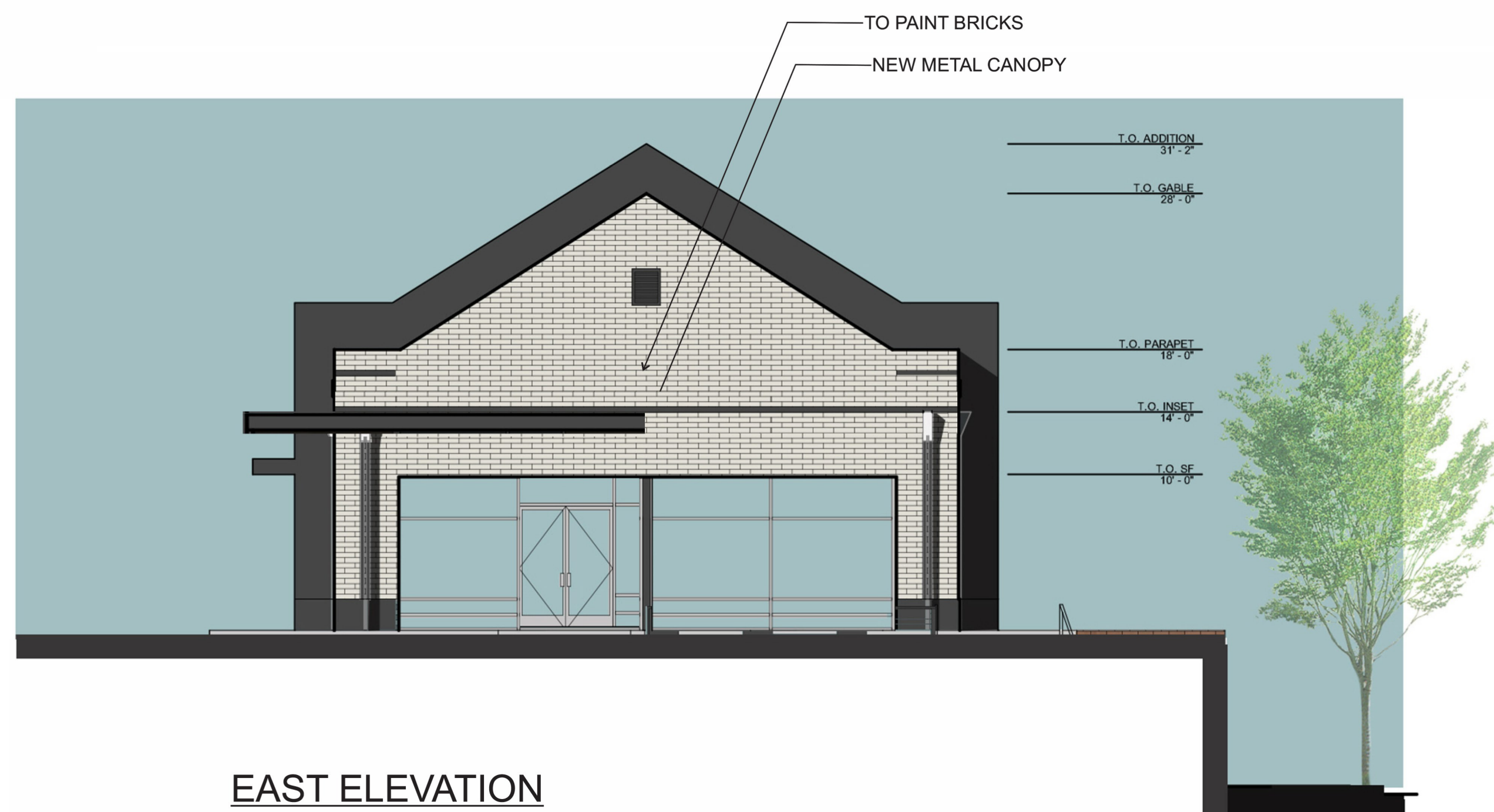
DESIGN REVIEW



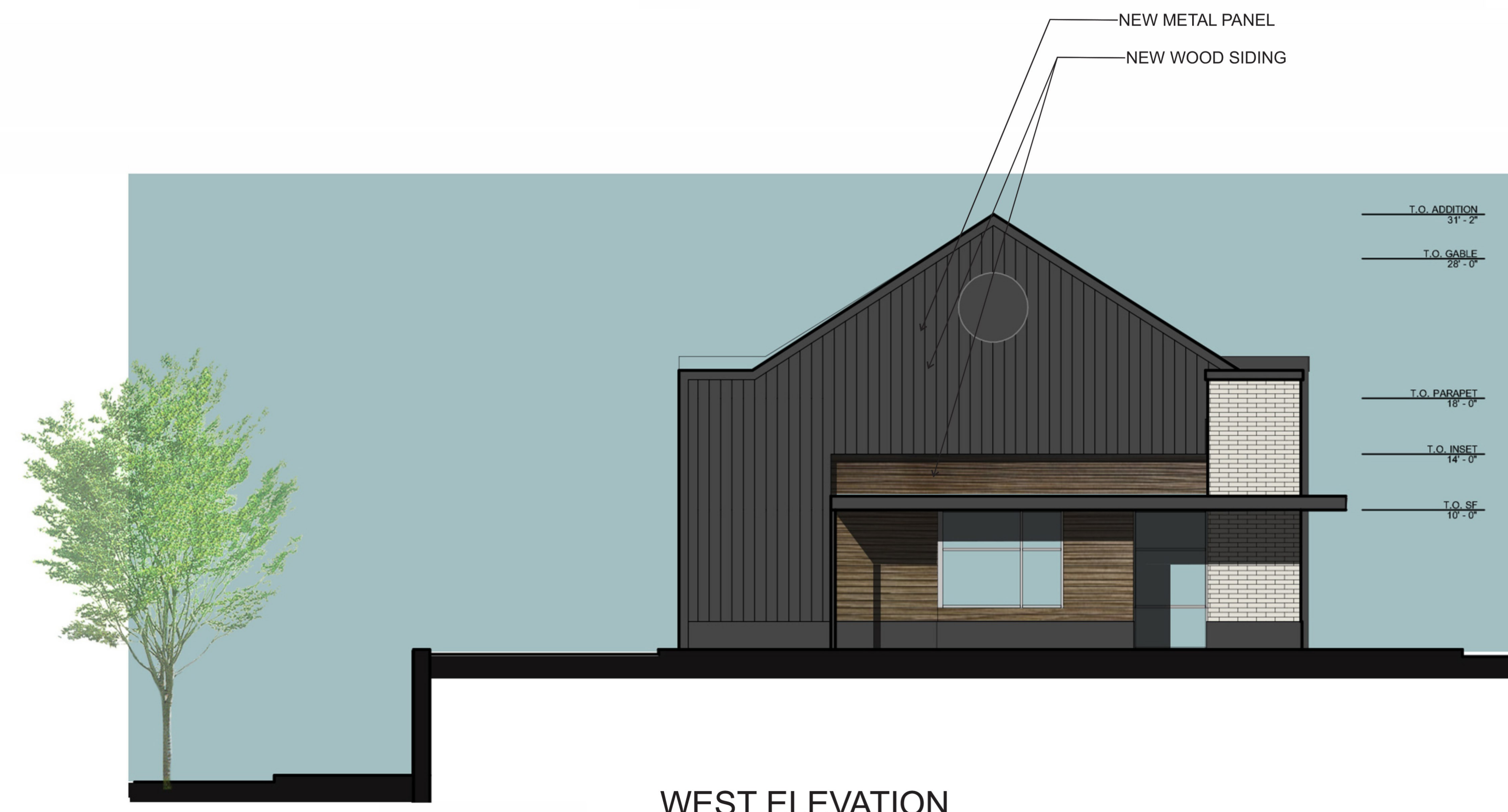
**NORTH ELEVATION**



**SOUTH ELEVATION**



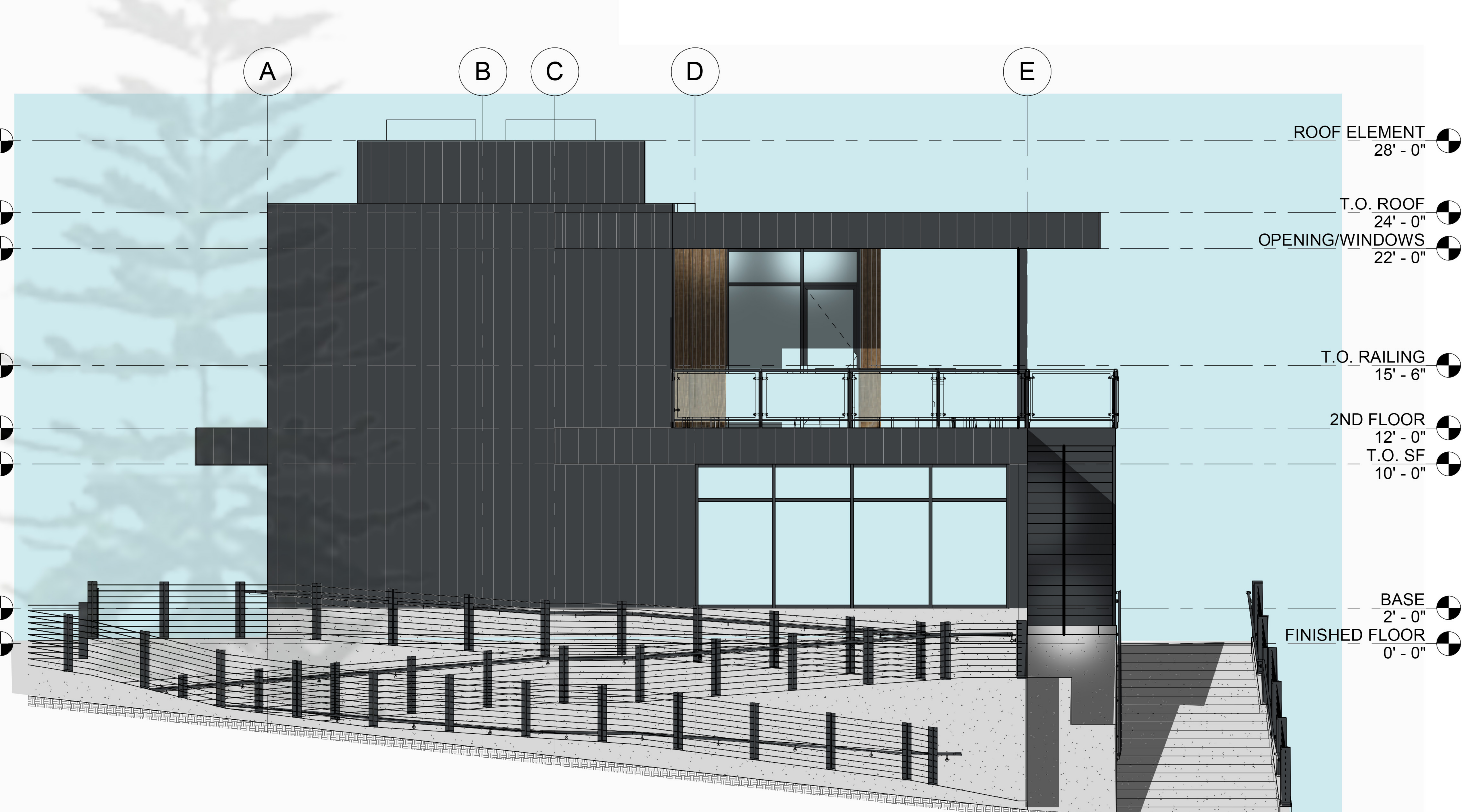
**EAST ELEVATION**



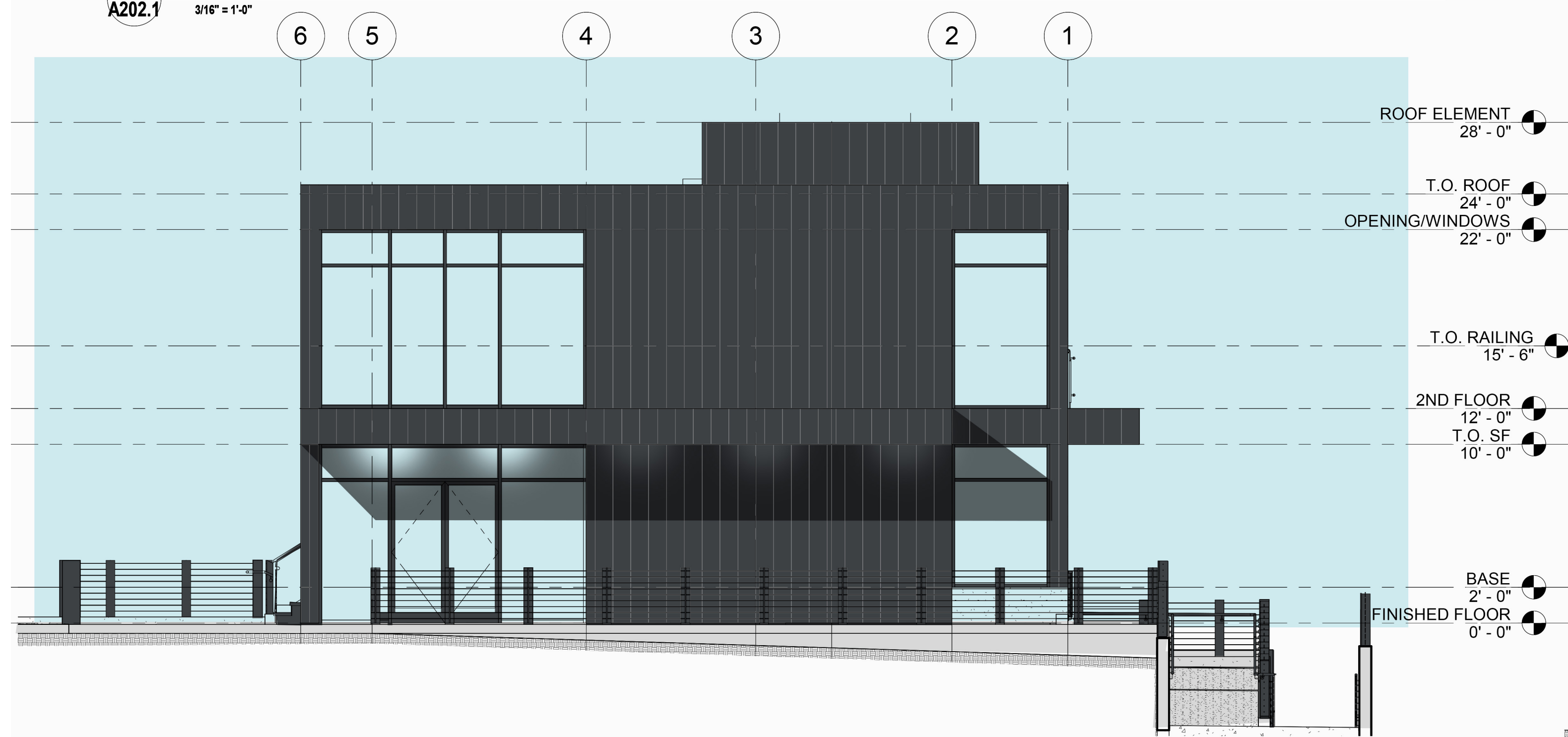
**WEST ELEVATION**



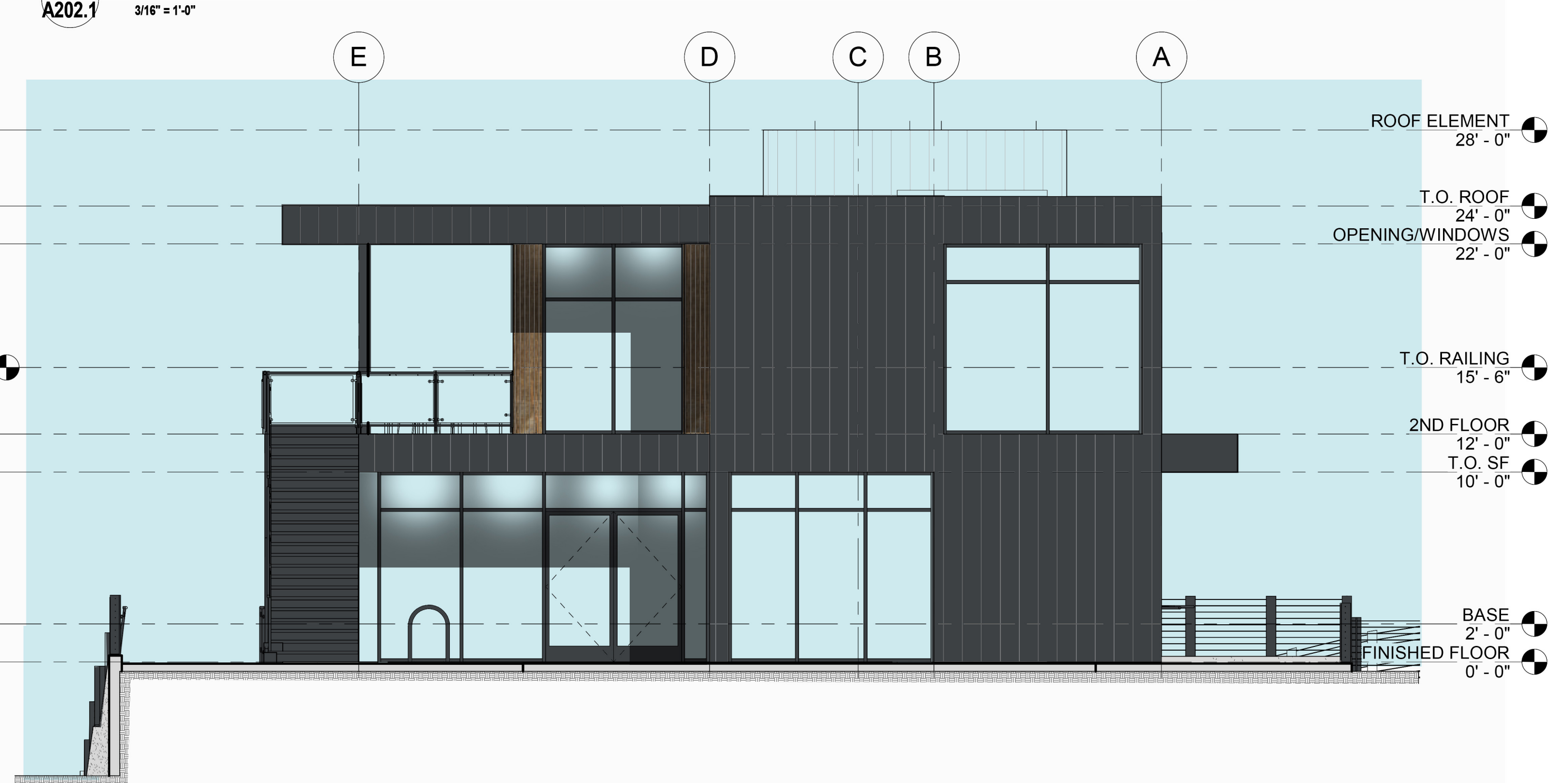
**2 CORNER BLDG NORTH ELEVATION**  
 A202.1 3/16" = 1'-0"



**1 CORNER BLDG EAST ELEVATION**  
 A202.1 3/16" = 1'-0"



**3 CORNER BLDG SOUTH ELEVATION**  
 A202.1 3/16" = 1'-0"



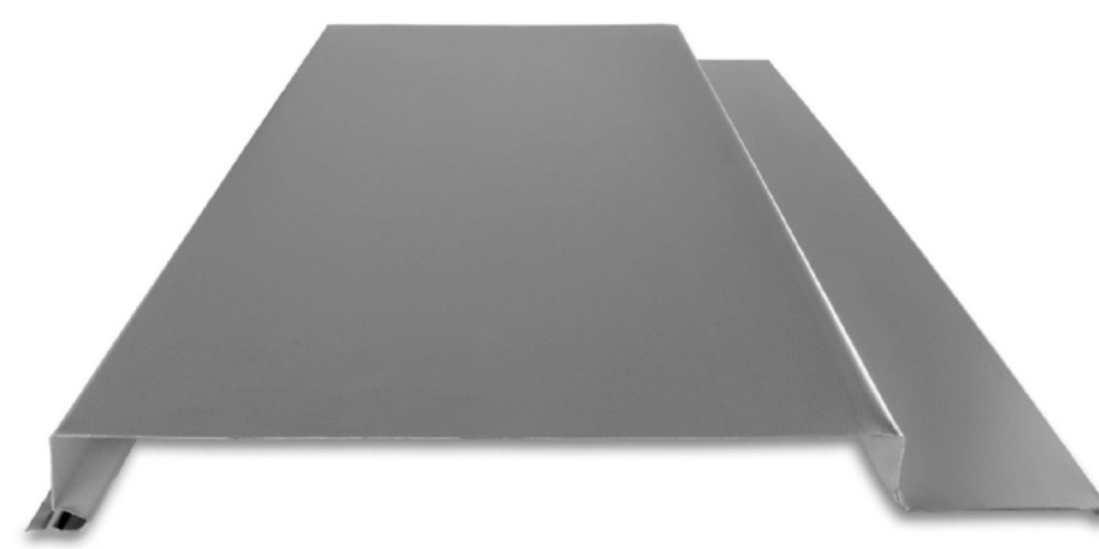
**4 CORNER BLDG WEST ELEVATION**  
 A202.1 3/16" = 1'-0"



NEW ALUMINUM AND GLASS STOREFRONT.  
 MFR: KAWNEER  
 FRAME COLOR: CHARCOAL — PERMAFUOUR  
 GLASS COLOR: CLEAR



NEW WOOD SIDING ACCENT  
 WOOD MFR: HEWN, CEDAR  
 WOOD COLOR: RUSTIC RECLAIMED



TAYLOR METAL, SHADOW LINE  
 GRAPHITE BLACK —  
 STANDARD KYNAR 500



GRAPHITE BLACK —  
 STANDARD KYNAR 500



Well-crafted simplicity.

PETERKORT  
 MANAGEMENT CO.  
**TOWNE SQUARE  
 STARBUCKS  
 AND PAD**

Issued / Revised

**PK 21052**

Original Issue: 01.15.2024  
 Drawn/Checked By: JML / MAV  
 © 2023 Baysinger Partners Architecture

**EXTERIOR  
 VIEWS**

**A204**

DESIGN REVIEW



Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised

**PK 21052**

Original Issue: 06/22/2023  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

**EXTERIOR  
VIEWS**

**A204**

DESIGN REVIEW

Well-crafted simplicity.

PETERKORT  
 MANAGEMENT CO.

**TOWNE SQUARE  
 STARBUCKS  
 AND PAD**

Issued / Revised

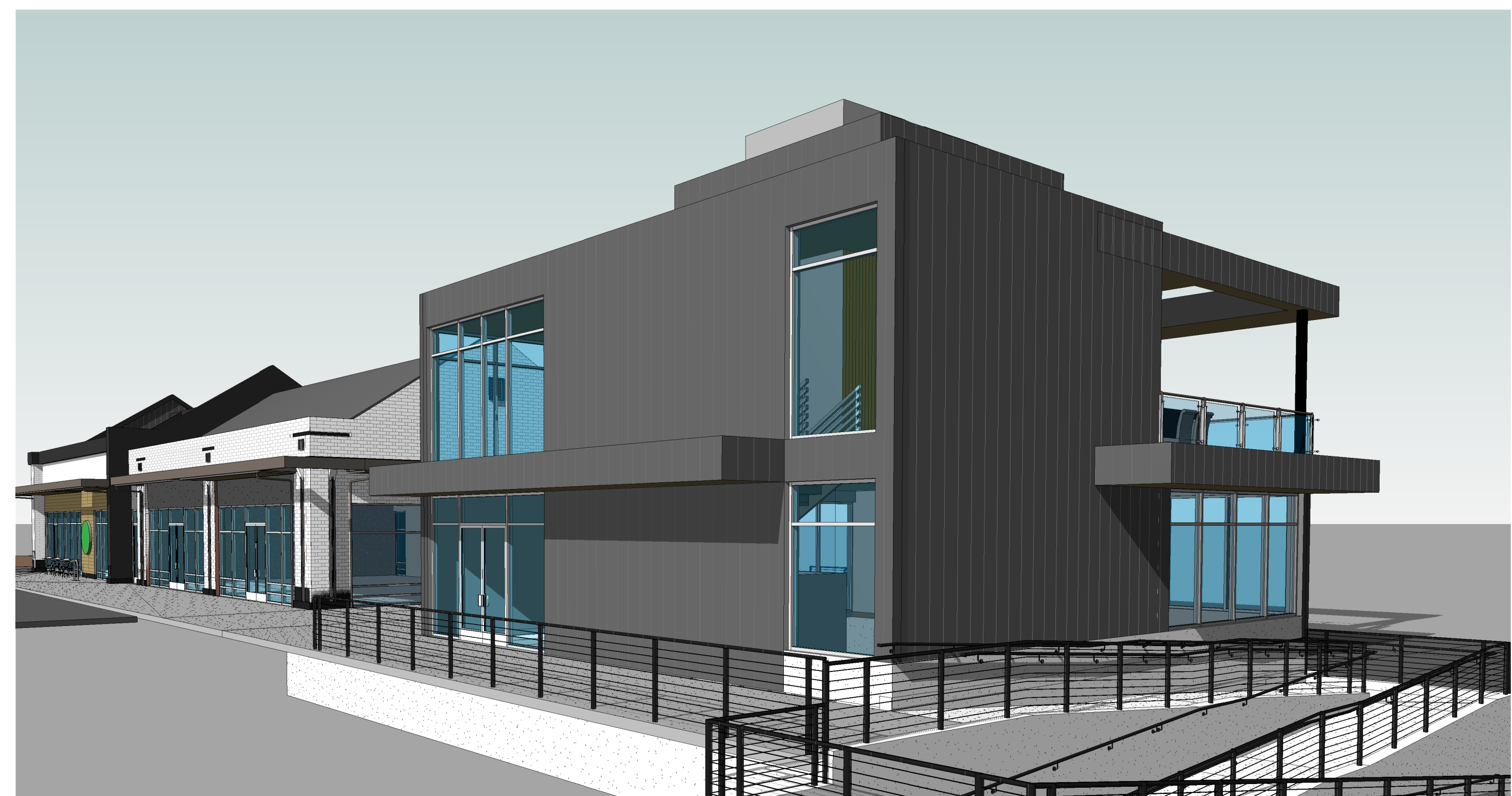
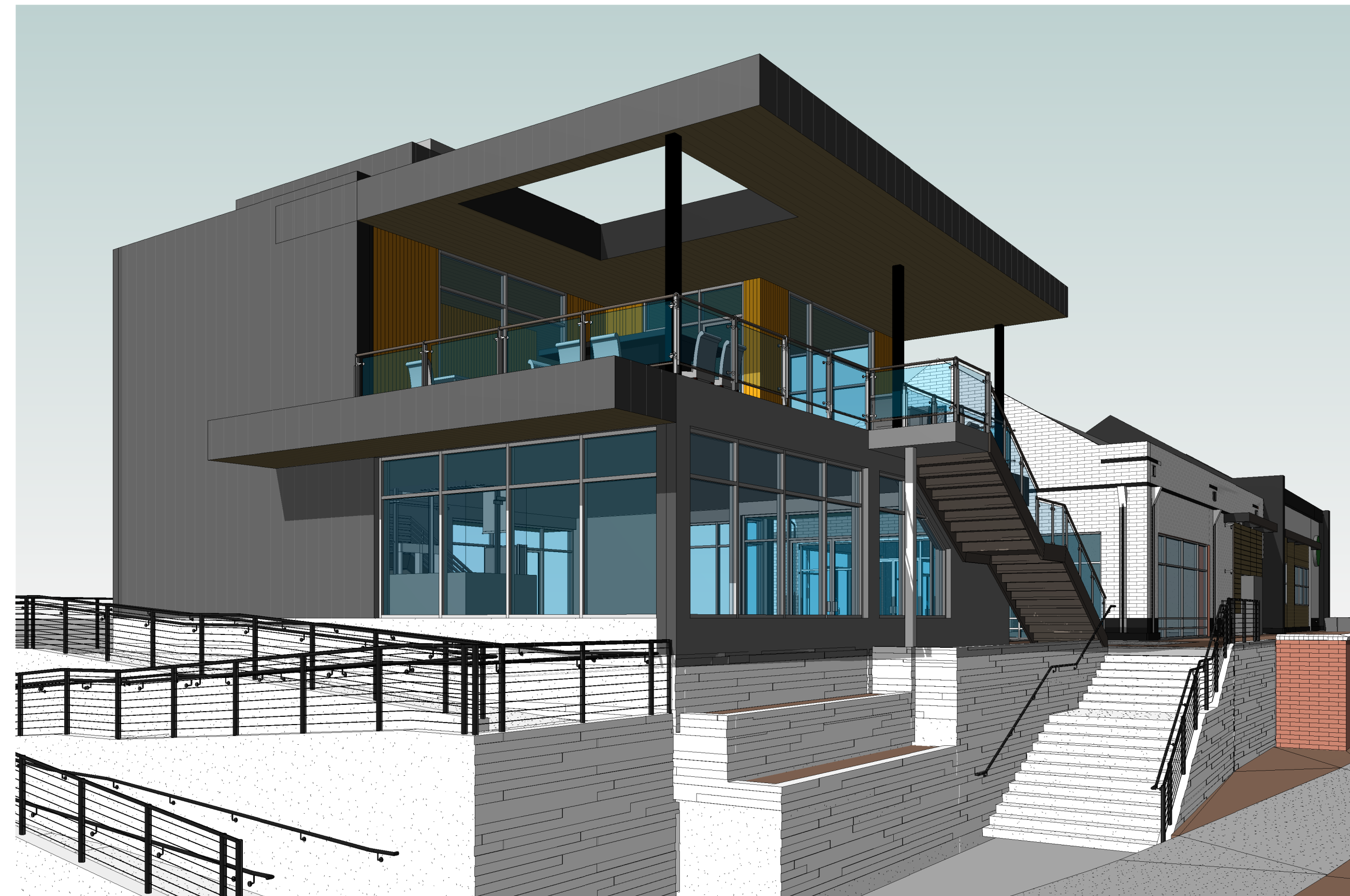
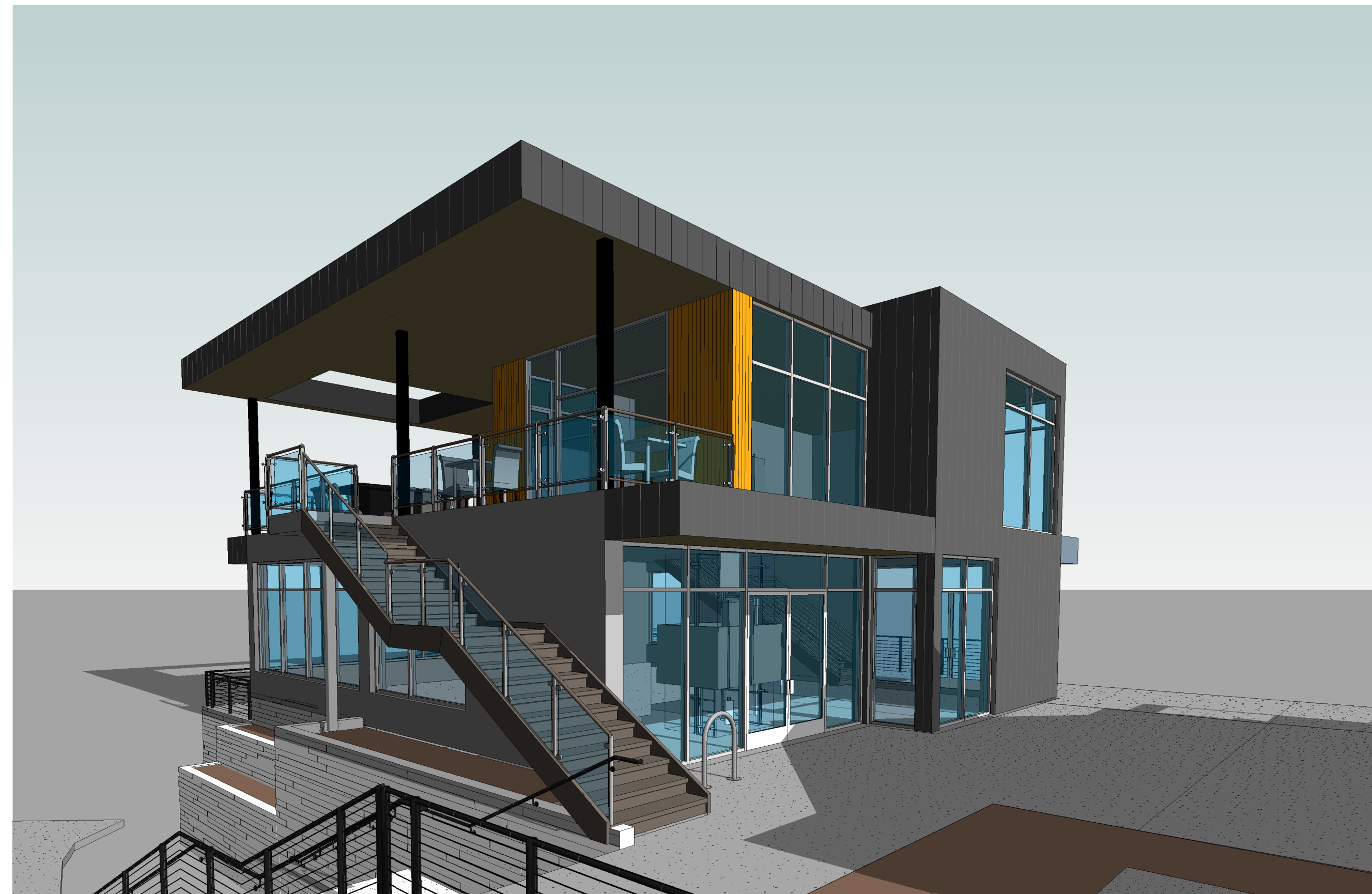
**PK 21052**

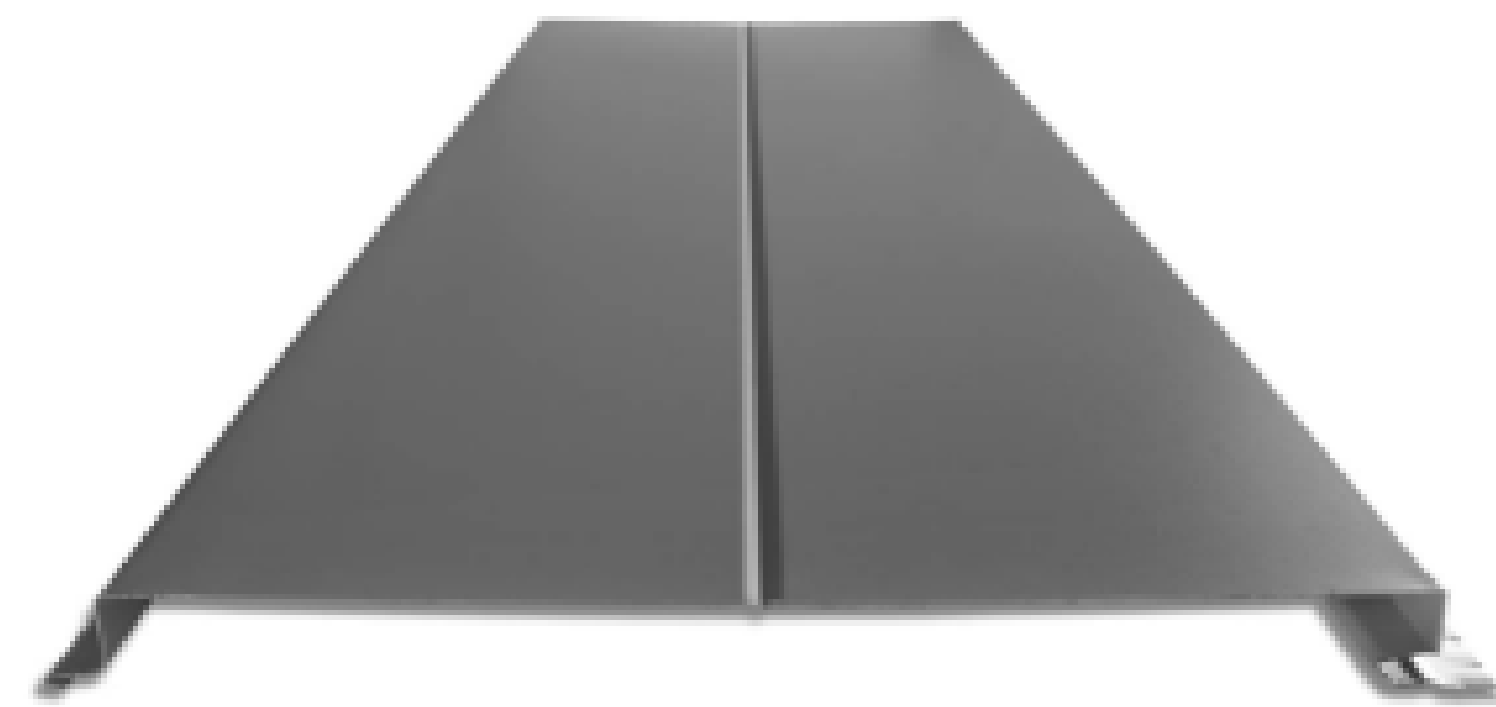
Original Issue: 01.15.2024  
 Drawn/Checked By: JML / MAV  
 © 2023 Baysinger Partners Architecture

**CORNER BLDG  
 EXTERIOR  
 VIEWS**

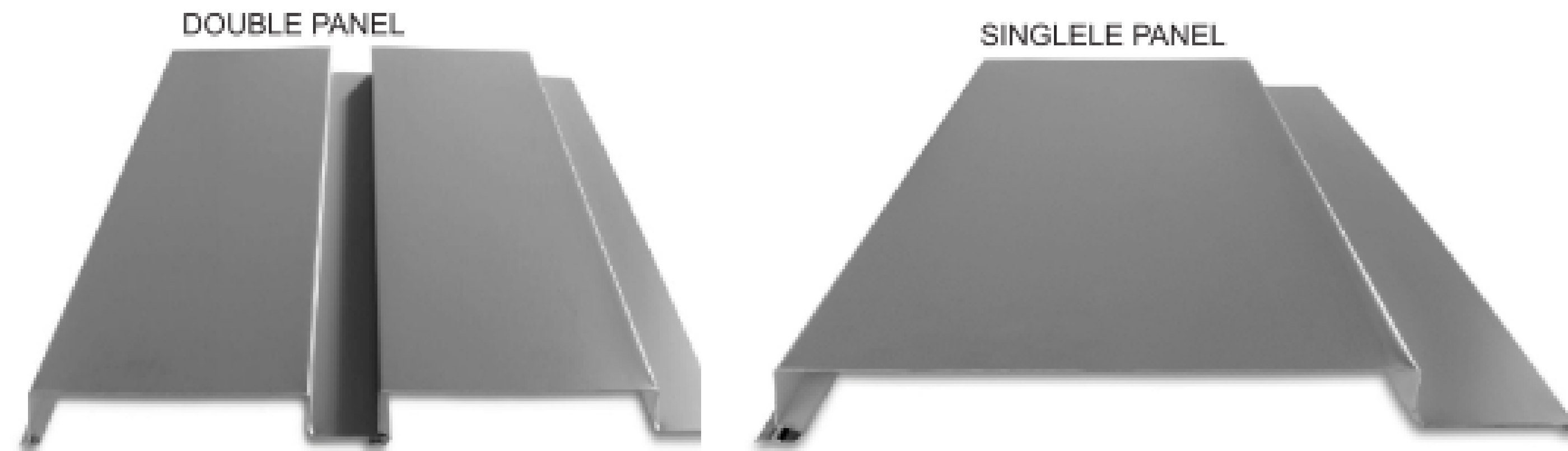
**A204.1**

DESIGN REVIEW





TAYLOR METAL "SMOOTH WALL"  
 STARBUCKS SHOPS BUILDING



TAYLOR METAL "SHADOW LINE" COMBINATION SINGLE PANEL AND DOUBLE PANEL COMBINATION  
 PORTLAND ROCK GYM BUILDING



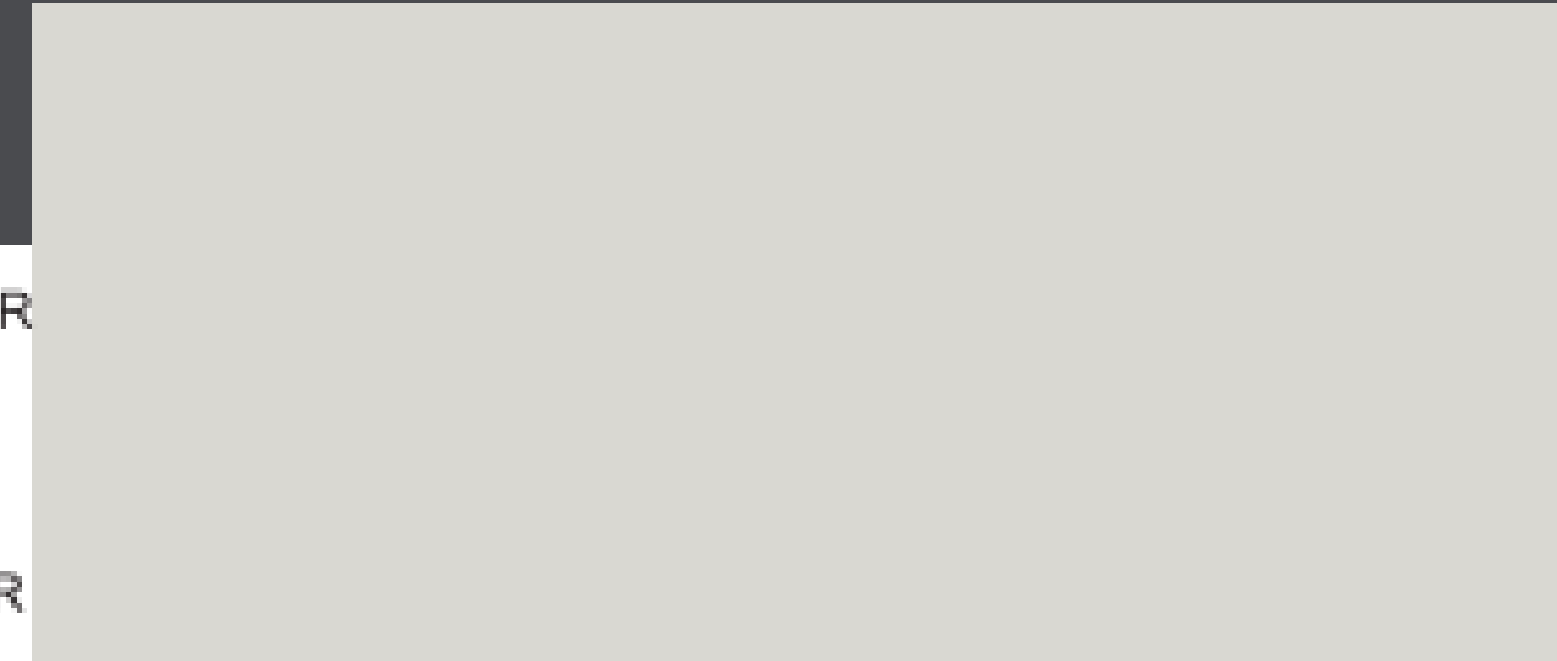
STOREFRONT "CLEAR ANODIZED"  
 STARBUCKS SHOPS BUILDING



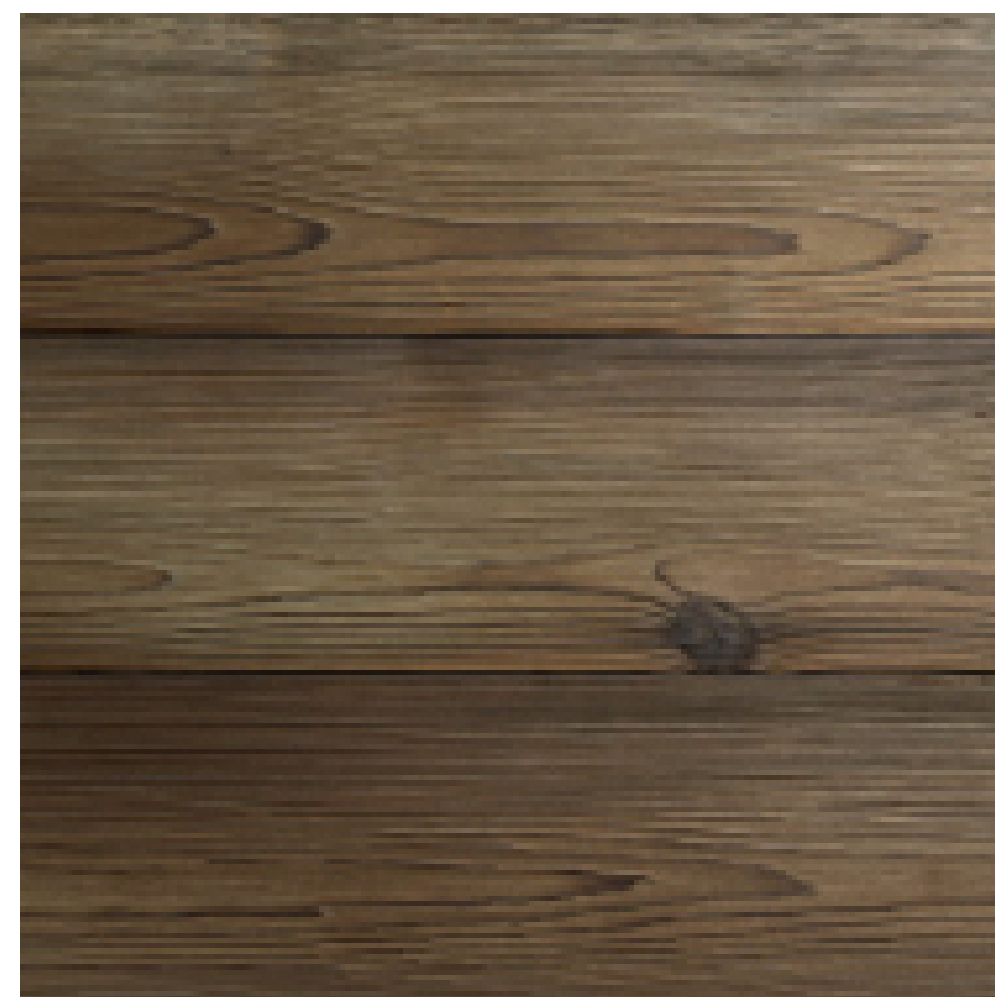
STOREFRONT "SLATE GREY"  
 PORTLAND ROCK GYM BUILDING



TAYLOR METAL COLOR  
 CHARCOAL GREY



TAYLOR METAL COLOR  
 GLAZIER WHITE

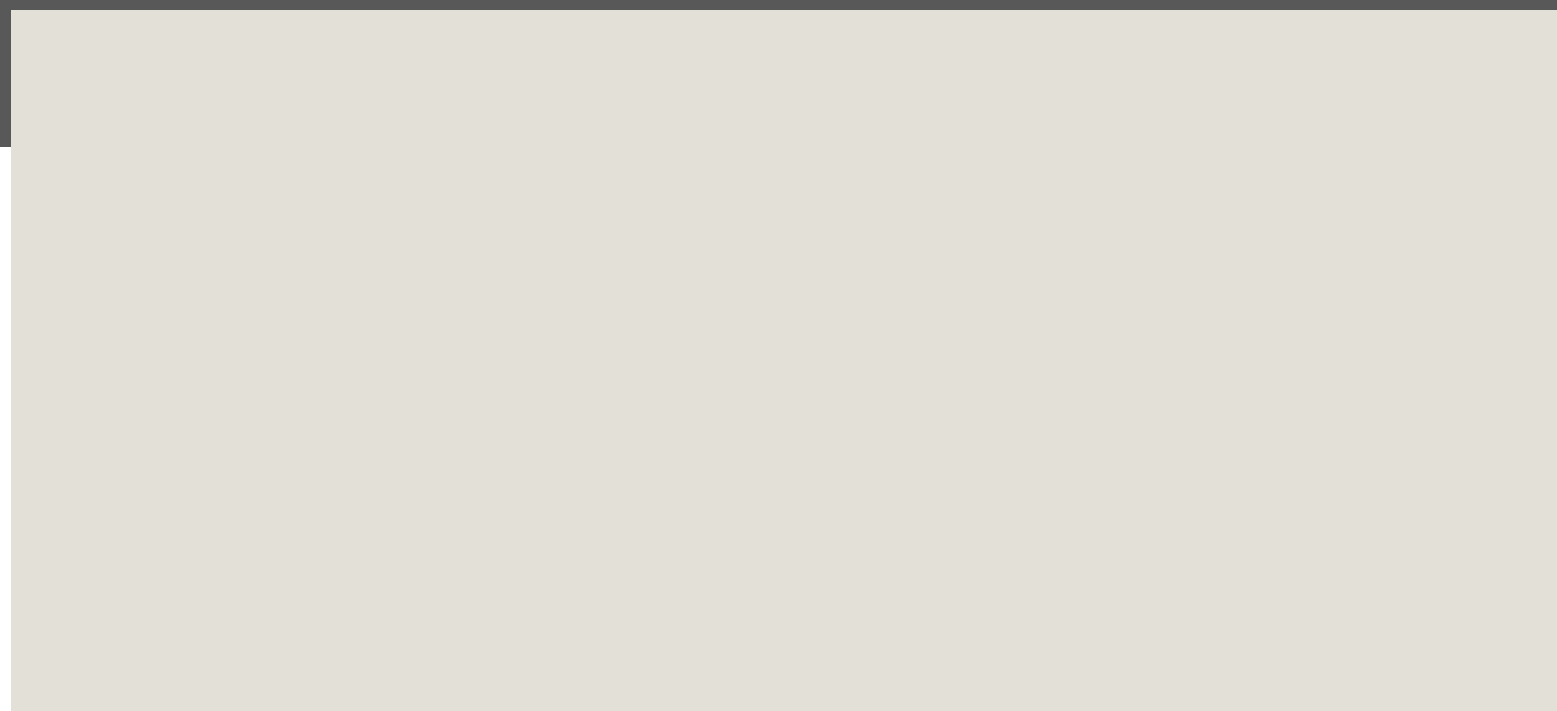


HEWN CEDAR WALL PANEL  
 RUSTIC RECLAIMED

LONGBOARD METAL SIDING  
 TO MATCH COLOR



SHERWIN WILLIAMS PAINT  
 SW 7674 PEPPERCORN  
 WALL AND CANOPY



SHERWIN WILLIAMS PAINT  
 SW 6168 MODERNE  
 BRICK PAINT TO MATCH

Well-crafted simplicity.

PETERKORT  
 MANAGEMENT CO.  
**TOWNE SQUARE  
 STARBUCKS  
 AND PAD**

Issued / Revised

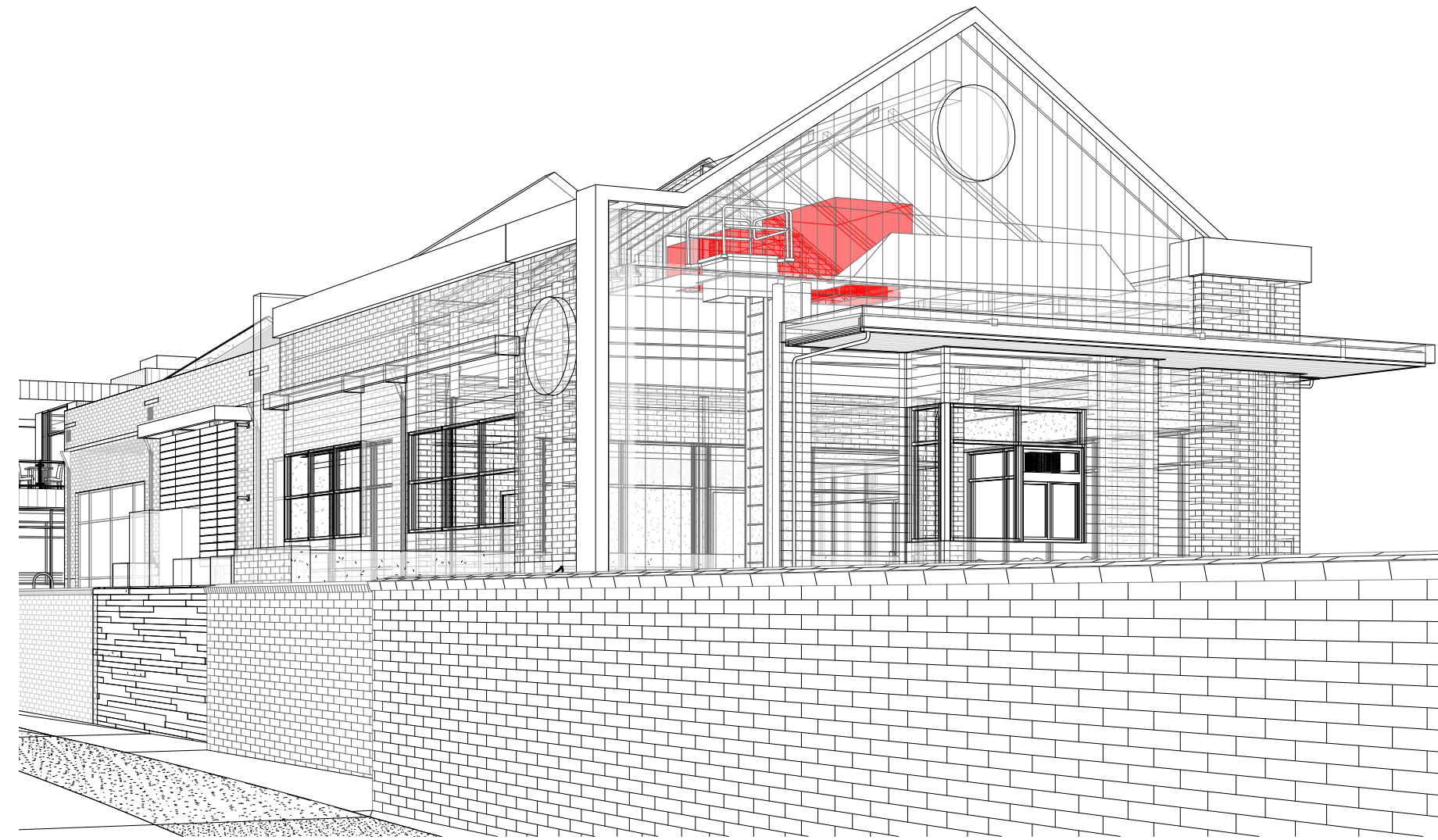
**PK 21052**

Original Issue: 01.15.2024  
 Drawn/Checked By: JML / MAV  
 © 2023 Baysinger Partners Architecture

**MATERIALS**

**A205**

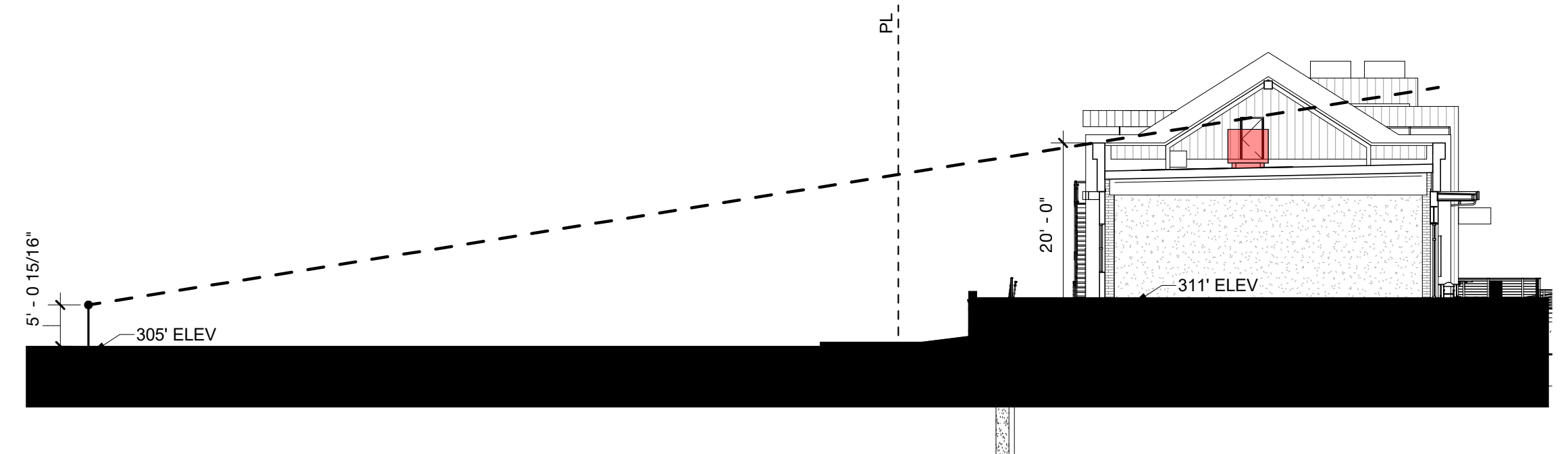
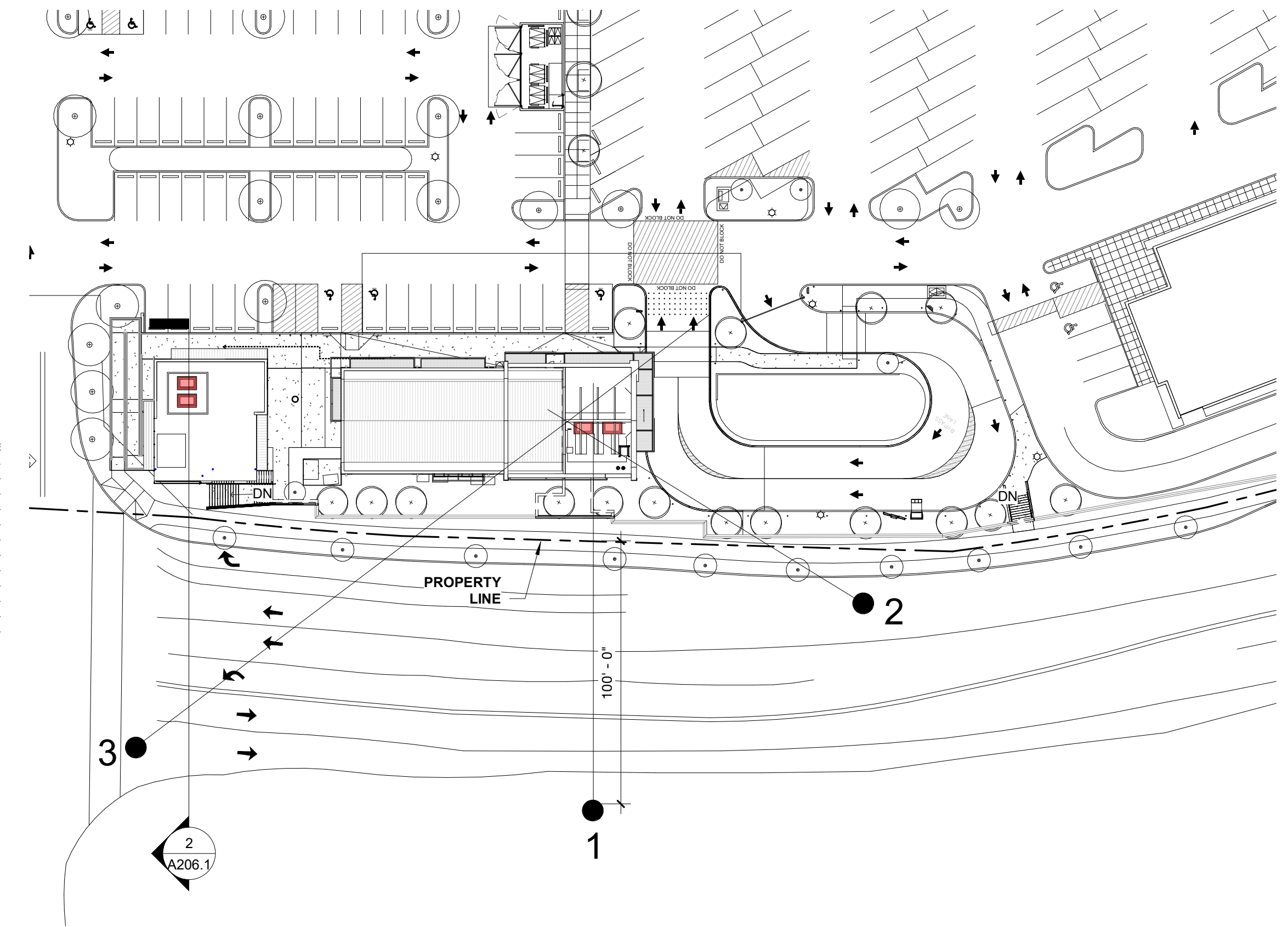
DESIGN REVIEW



SIGHTLINE 2-A



SIGHTLINE 2



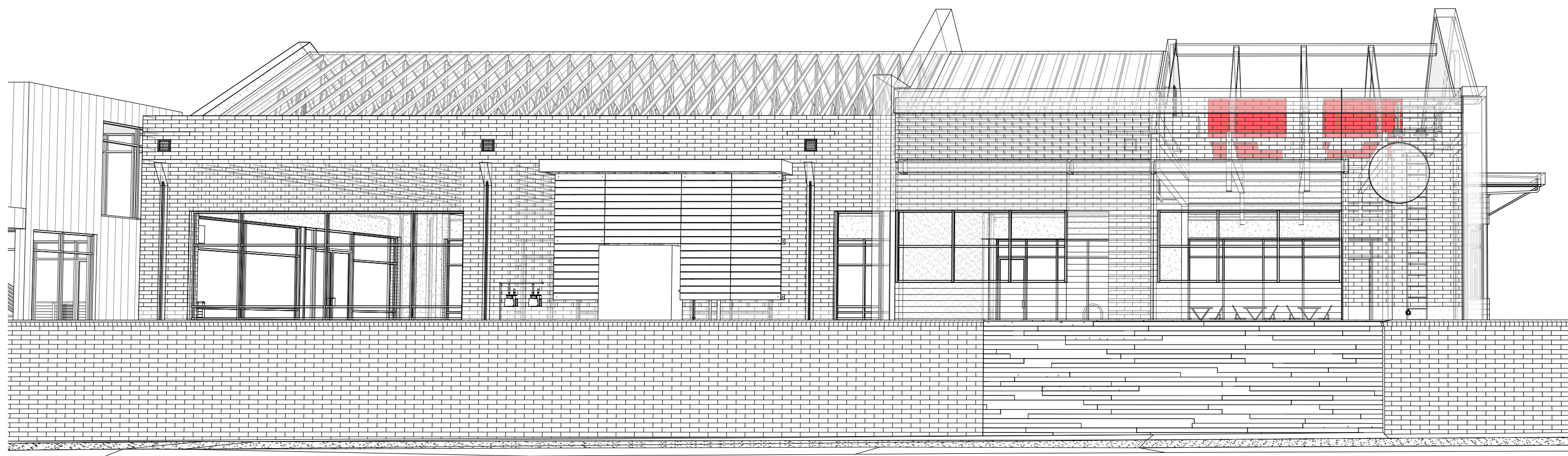
SIGHTLINE SECTION 1



SIGHTLINE 3-A



SIGHTLINE 3



SIGHTLINE 1-A



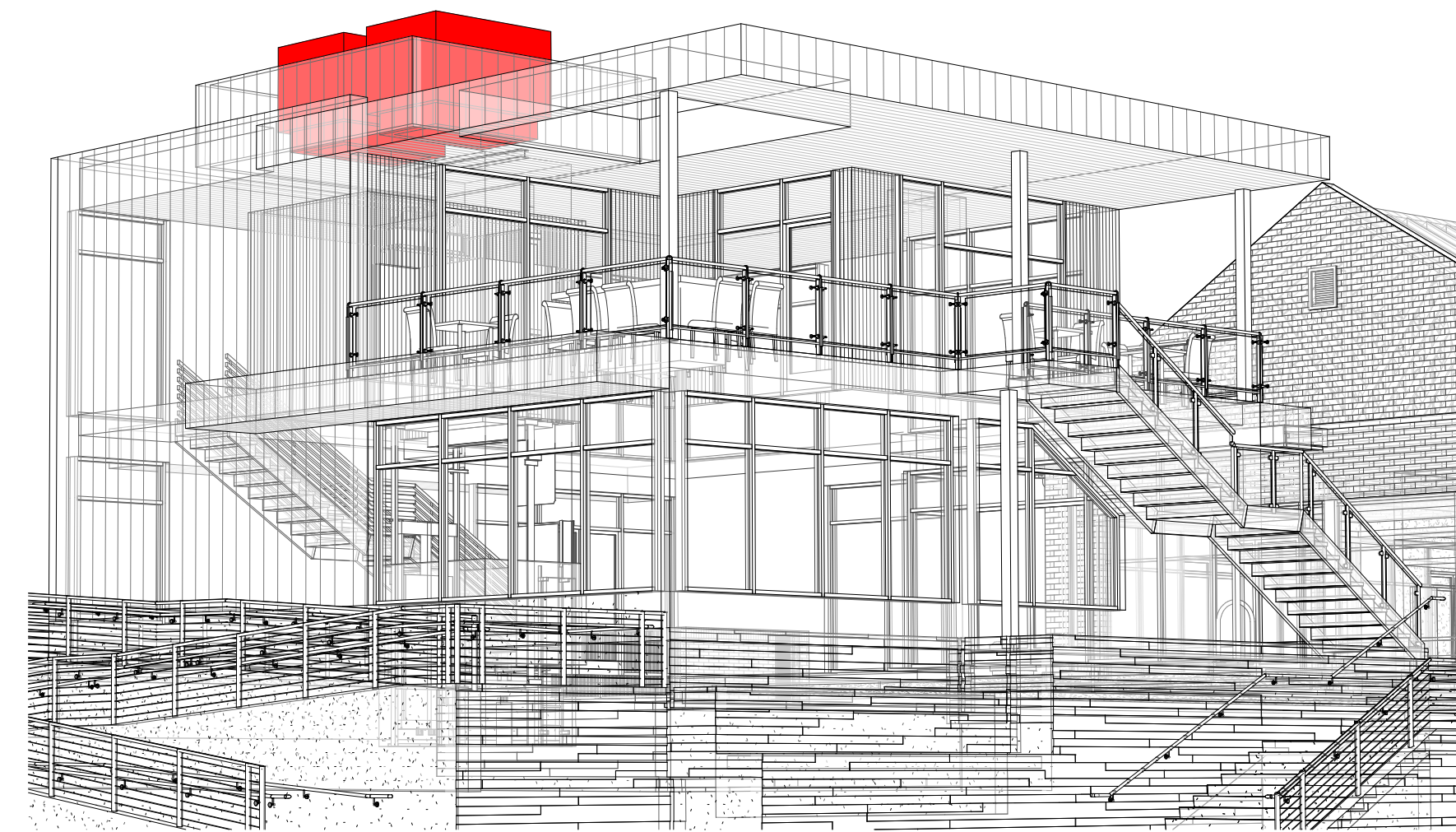
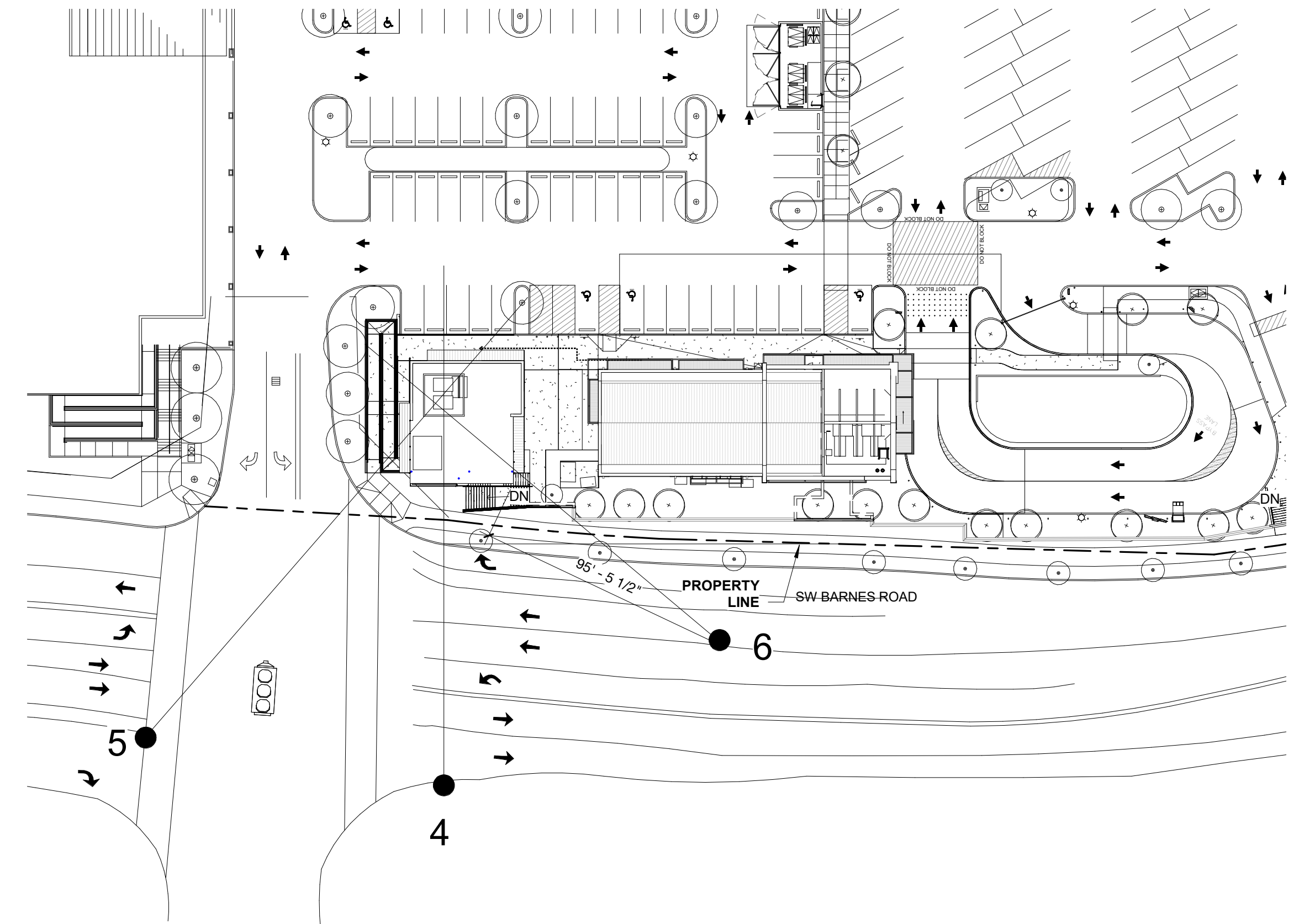
SIGHTLINE 1



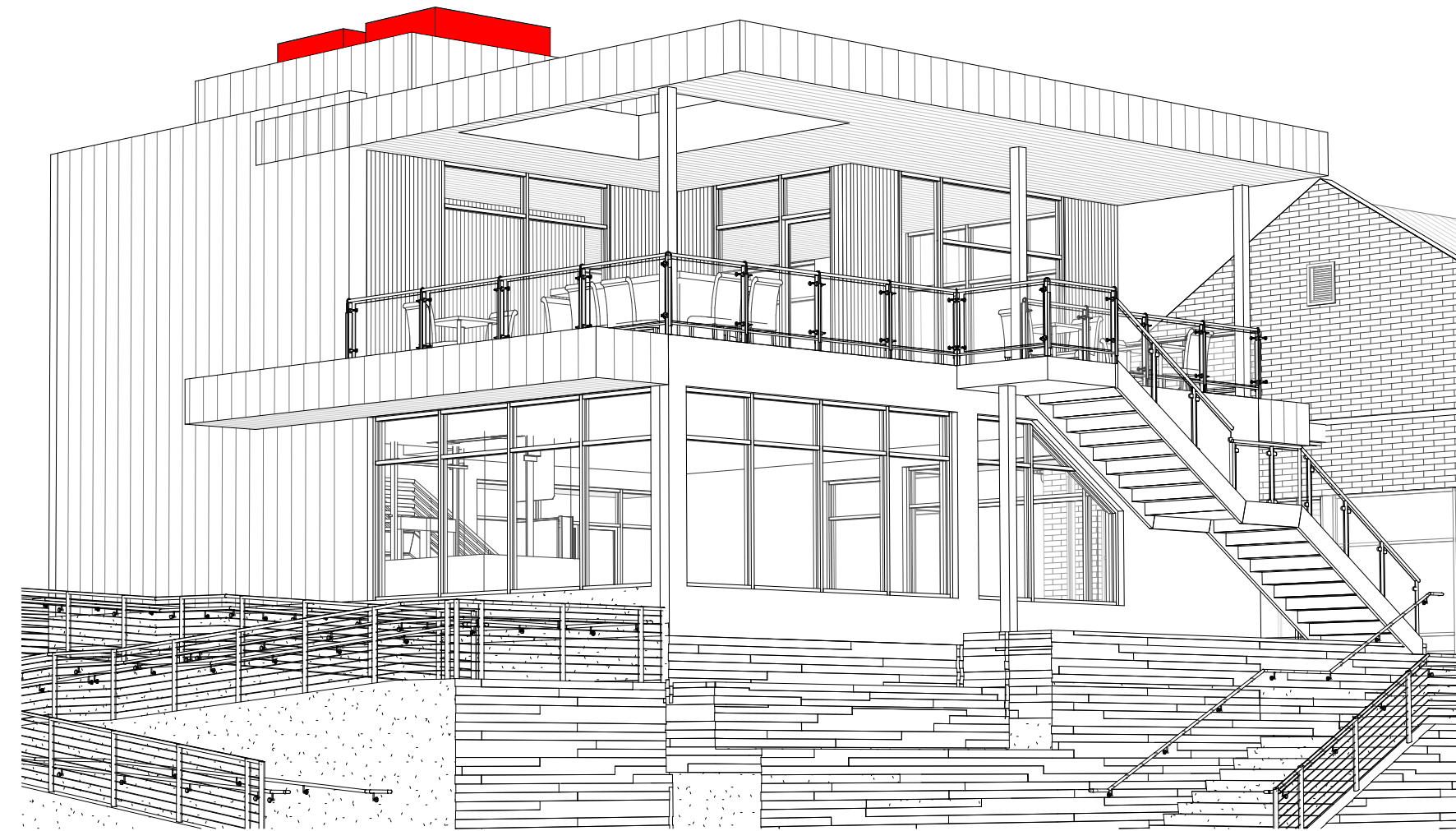
**SIGHTLINE 6A**



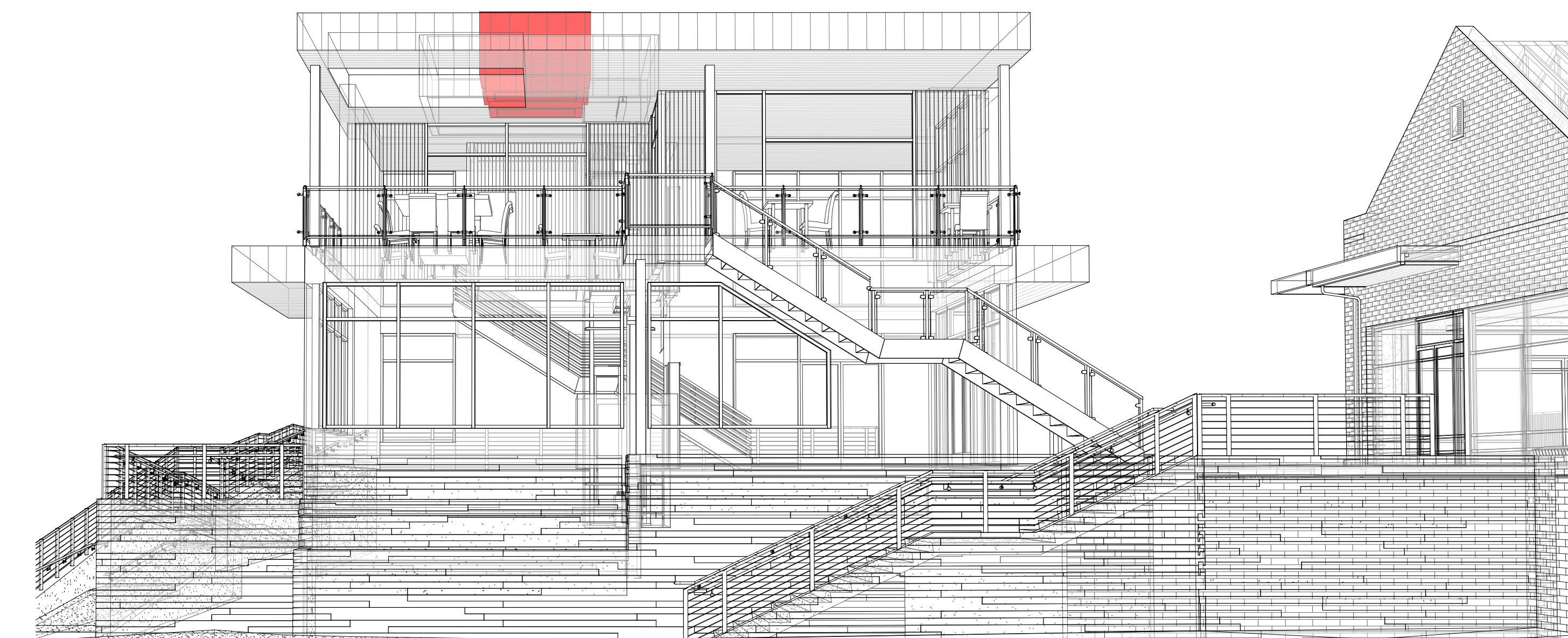
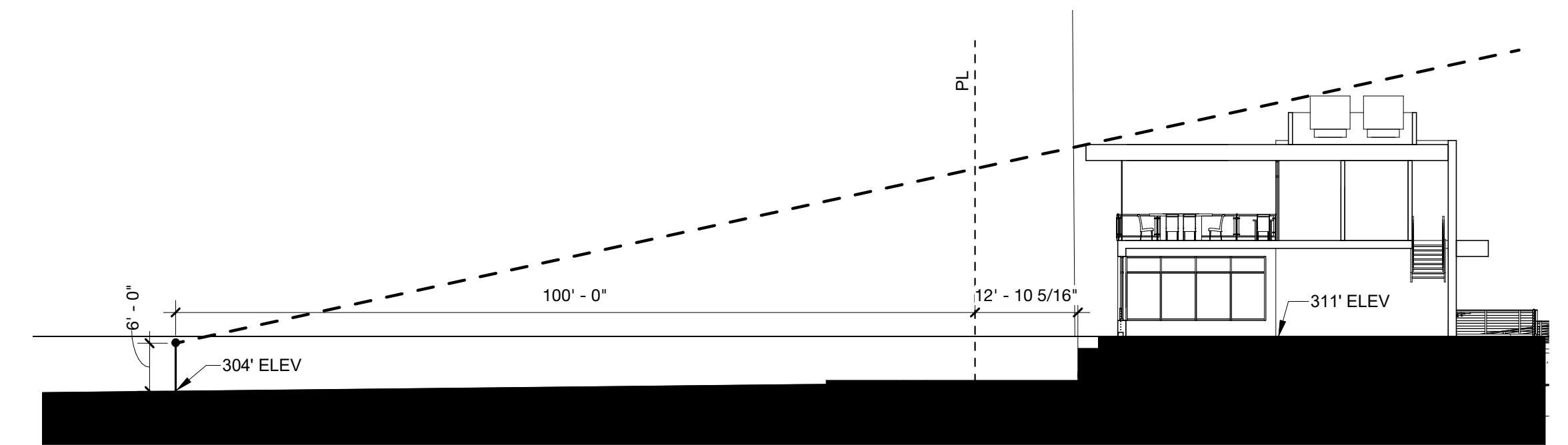
**SIGHTLINE 6**



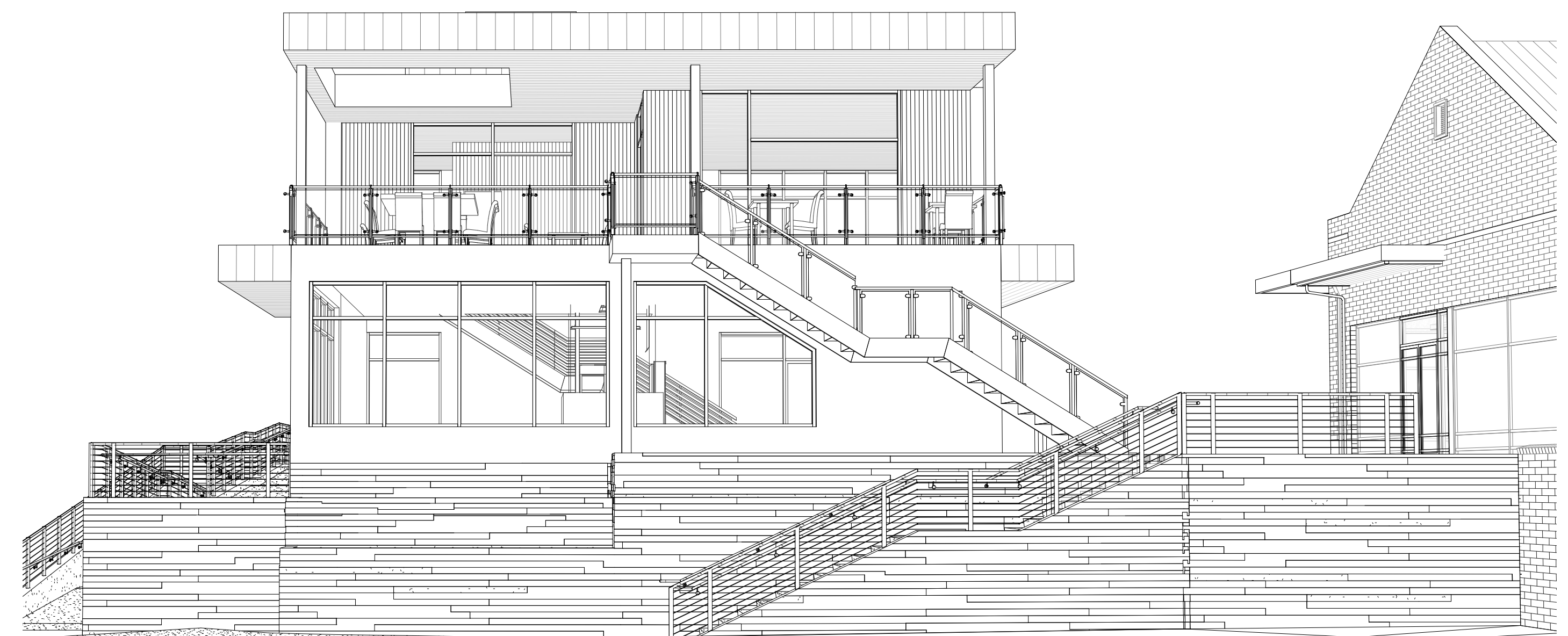
**SIGHTLINE 5A**



**SIGHTLINE 5**



**SIGHTLINE 4A**



**SIGHTLINE 4**



**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Well-crafted simplicity.

PETERKORT  
 MANAGEMENT CO.  
**TOWNE SQUARE  
 STARBUCKS  
 AND PAD**

Issued / Revised

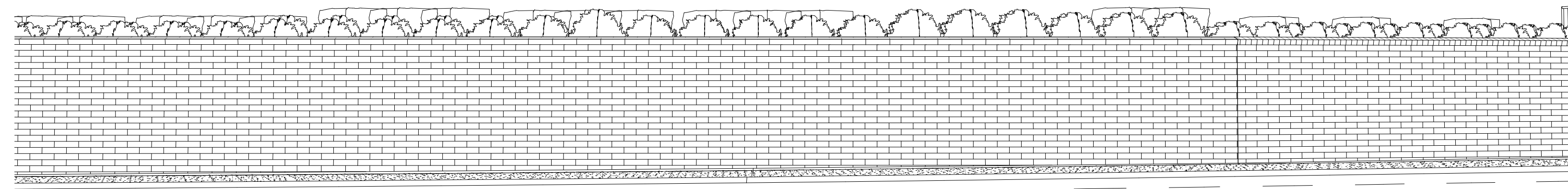
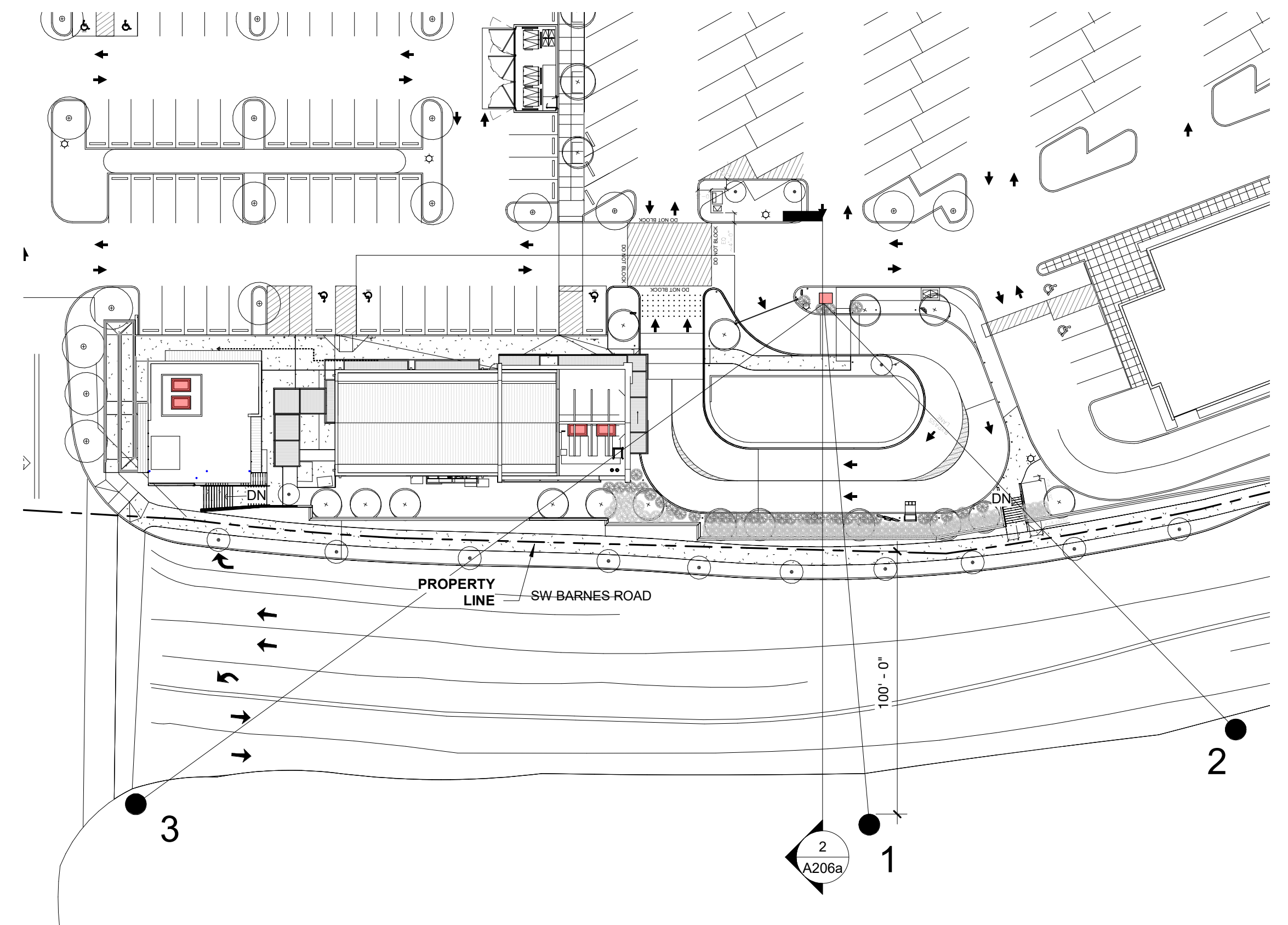
**PK 21052**

Original Issue: 01.15.2024  
 Drawn/Checked By: JML / MAV  
 © 2023 Baysinger Partners Architecture

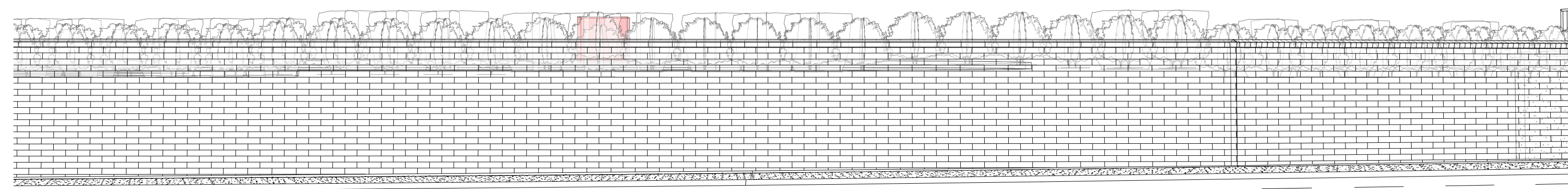
**TRANSFORMER  
 CONCEALMENT  
 VIEWS**

**A206a**

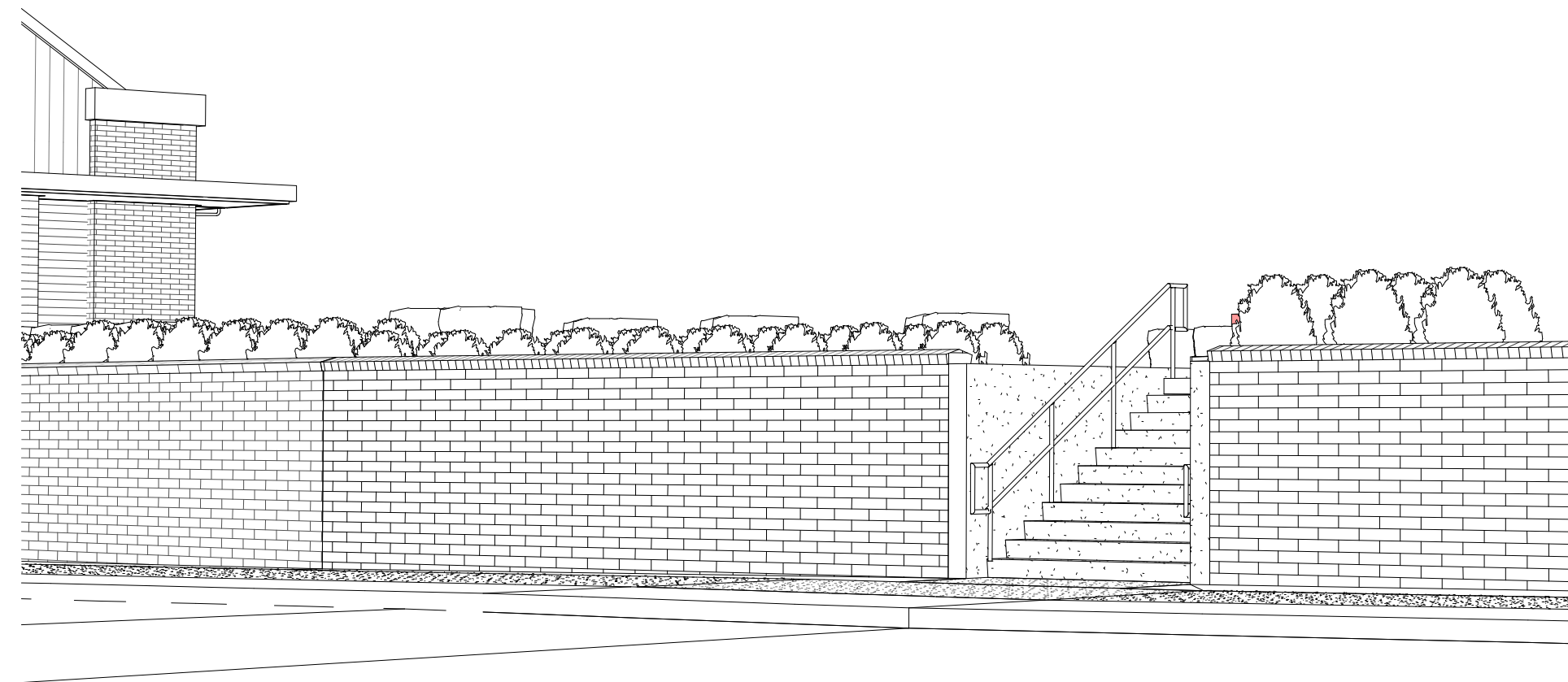
DESIGN REVIEW



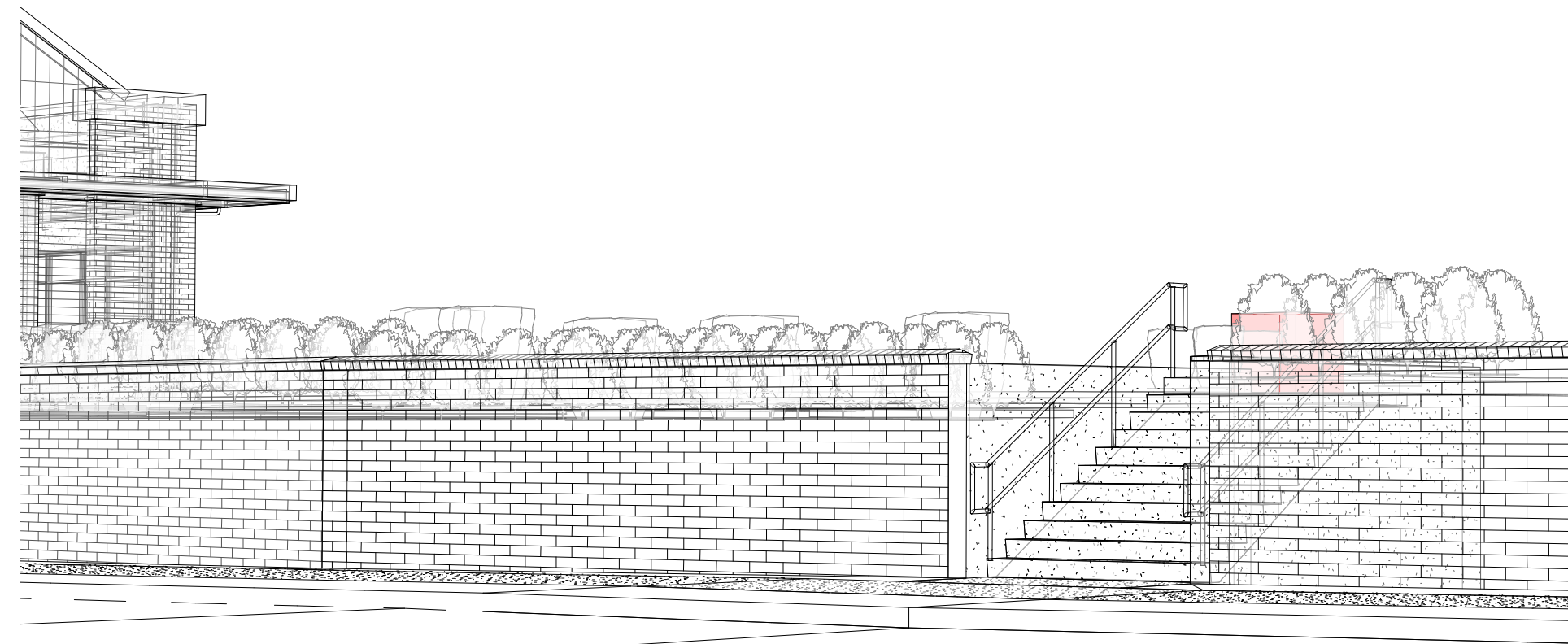
**SIGHTLINE 1 TRANSFORMER**



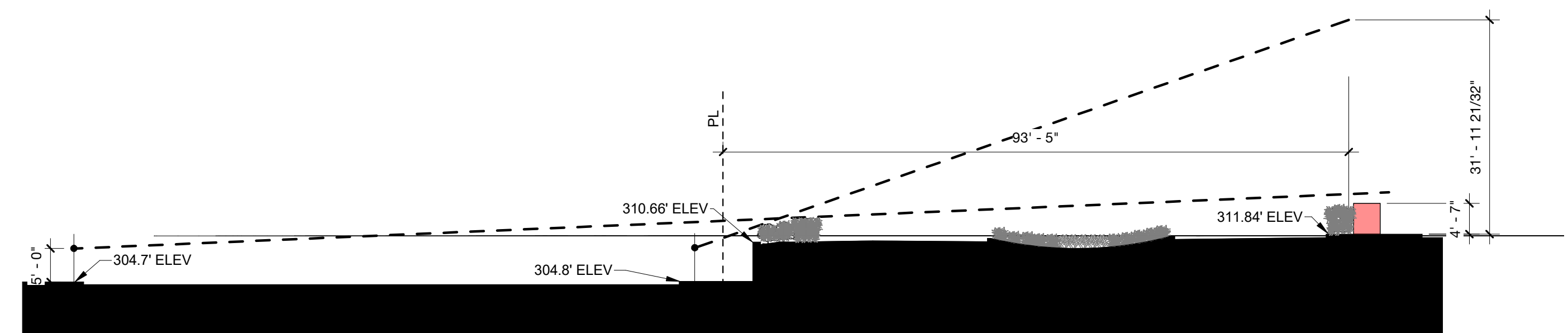
**SIGHTLINE 1-A TRANSFORMER**



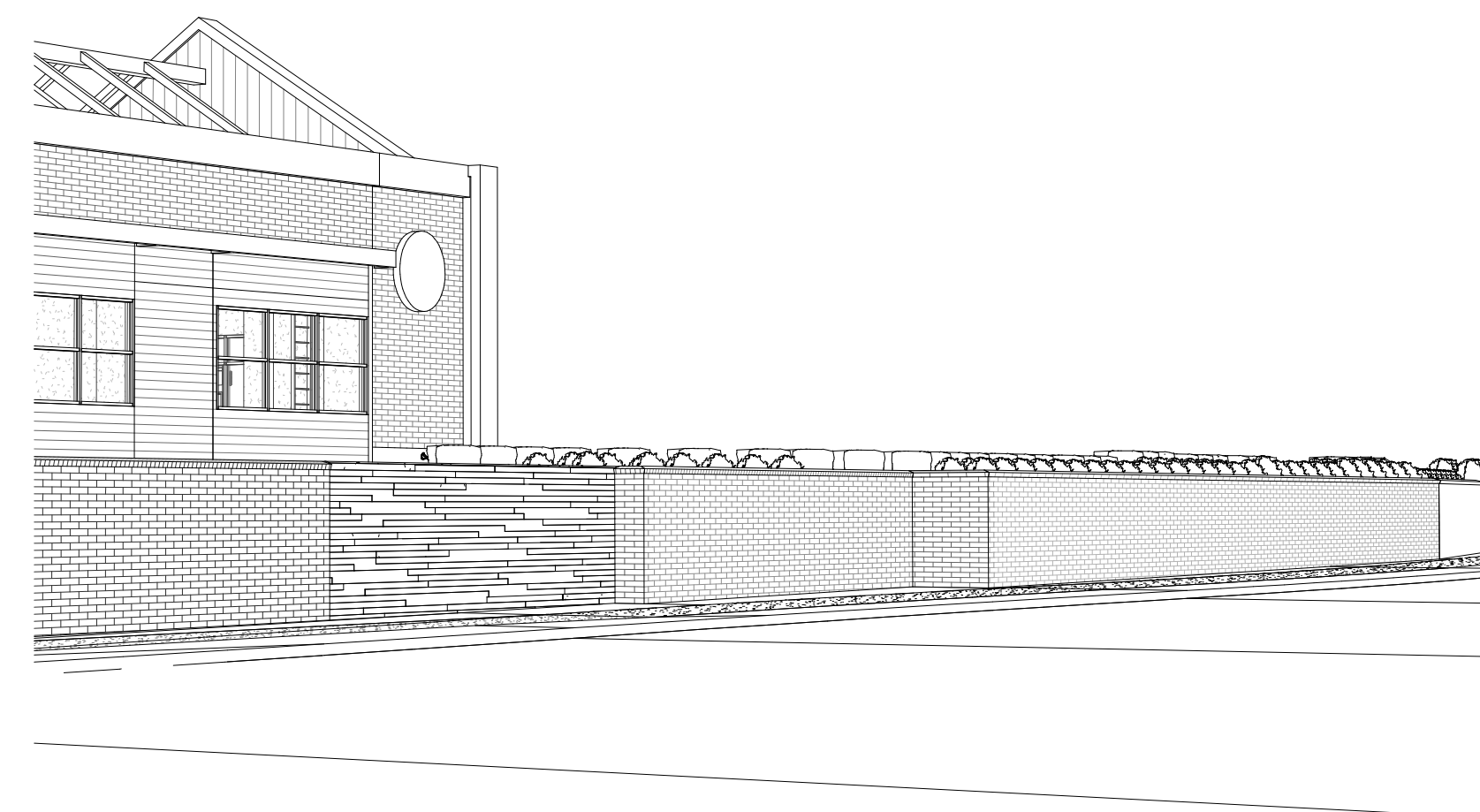
**SIGHTLINE 2 TRANSFORMER**



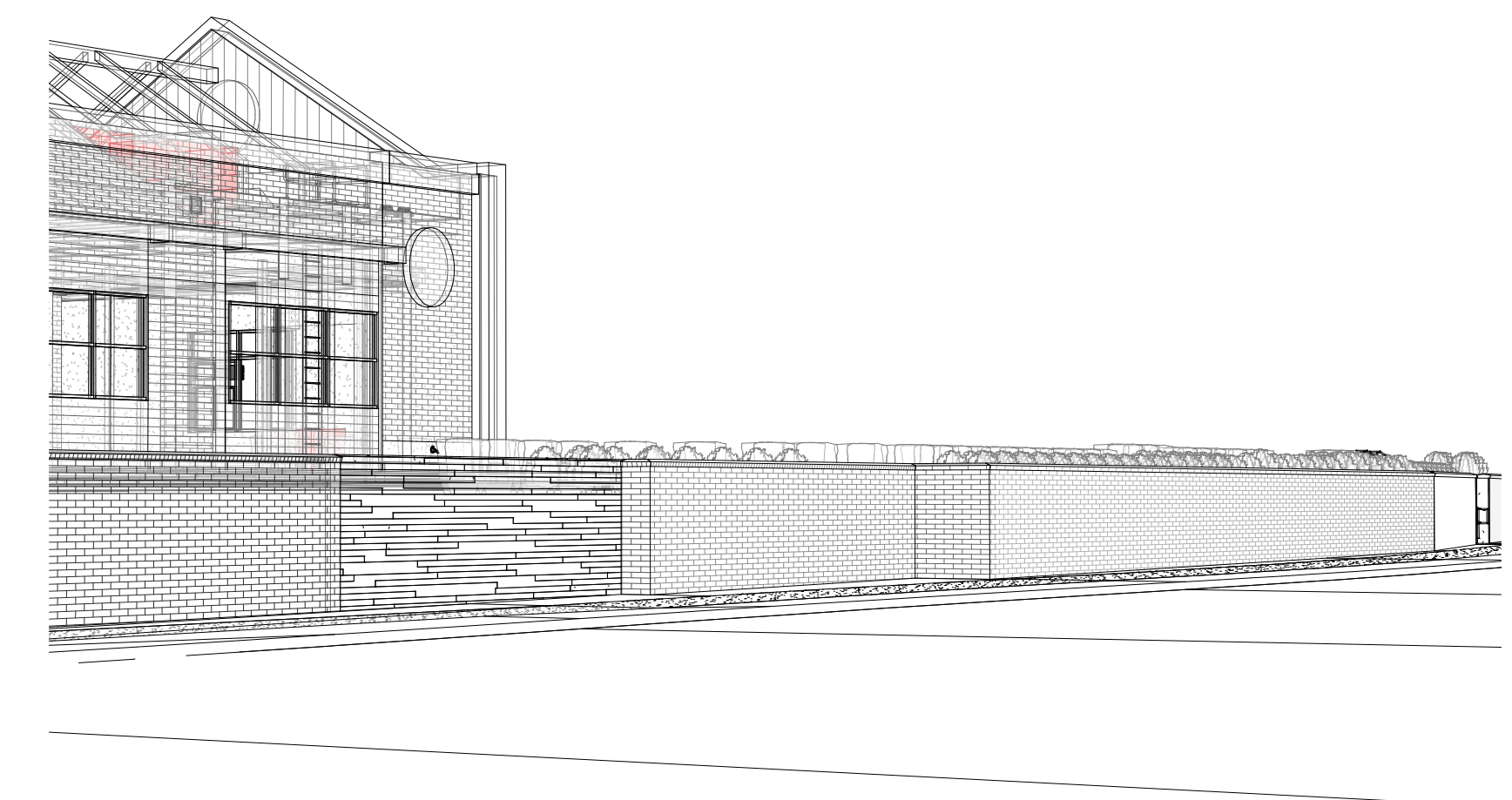
**SIGHTLINE 2-A TRANSFORMER**



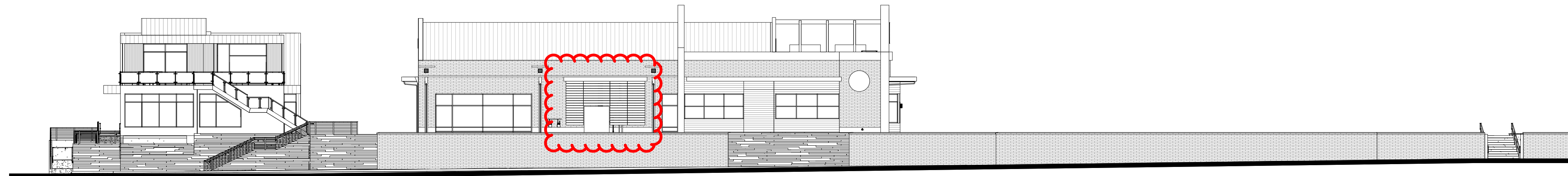
**SIGHTLINE SECTION AT  
 TRANSFORMER**



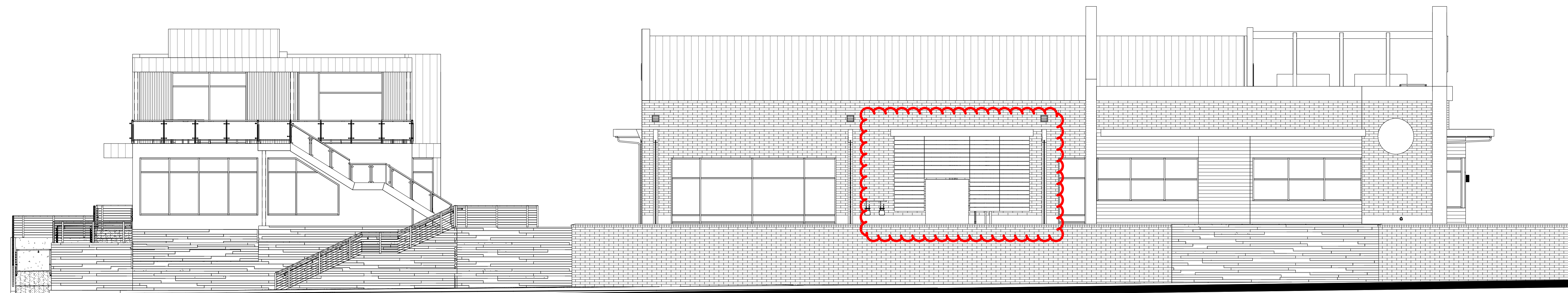
**SIGHTLINE 3 TRANSFORMER**



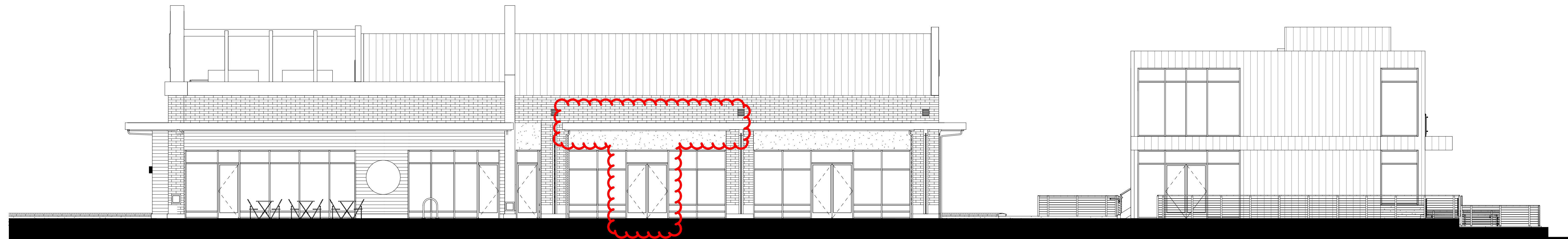
**SIGHTLINE 3-A TRANSFORMER**



**2 OVERALL FRONTAGE**  
1/16" = 1'-0"



**1 NORTH BUILDING ELEVATIONS**  
1/8" = 1'-0"



**3 SOUTH BUILDING ELEVATIONS**  
1/8" = 1'-0"

Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
**TOWNE SQUARE  
STARBUCKS  
AND PAD**

Issued / Revised

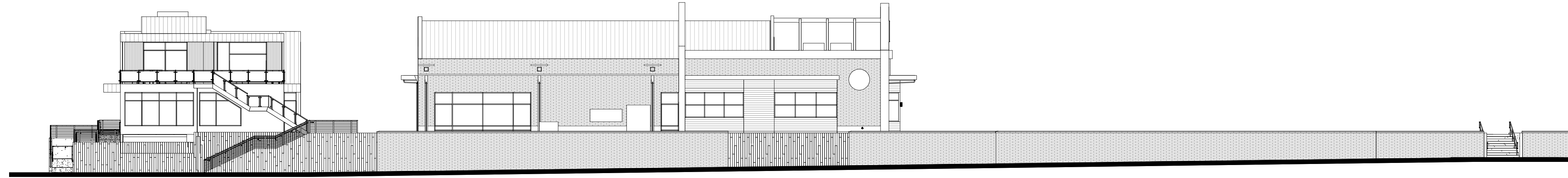
**PK 21052**

Original Issue: 01.15.2024  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

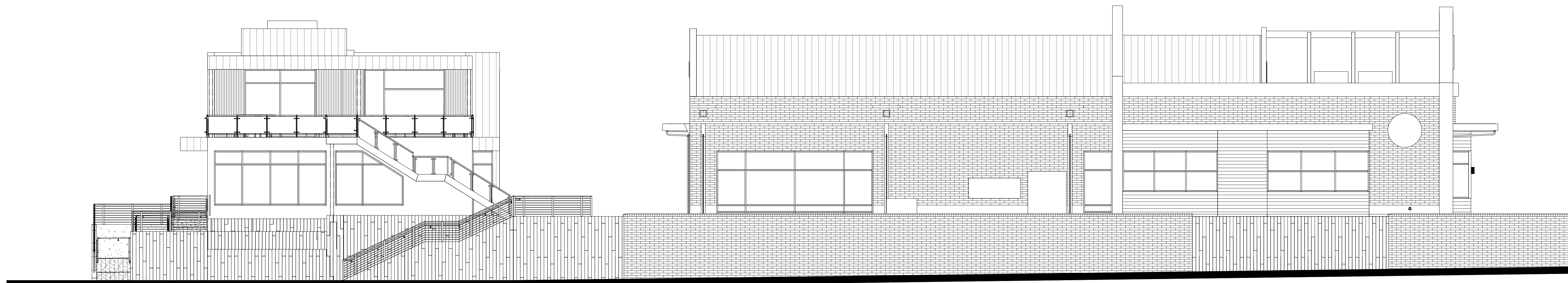
**SITE  
ELEVATIONS**

**A207**

DESIGN REVIEW



2 OVERALL FRONTAGE  
A207 1/16" = 1'-0"



1 NORTH BUILDING ELEVATIONS  
A207 1/8" = 1'-0"



3 SOUTH BUILDING ELEVATIONS  
A207 1/8" = 1'-0"

Well-crafted simplicity.

PETERKORT  
MANAGEMENT CO.  
TOWNE SQUARE  
STARBUCKS  
AND PAD

Issued / Revised

PK 21052

Original Issue: 06/22/2023  
Drawn/Checked By: JML / MAV  
© 2023 Baysinger Partners Architecture

SITE  
ELEVATIONS

A207

DESIGN REVIEW